

S O R R E N T O

Specific Plan

S O R R E N T O

Specific Plan

Prepared for:



CITY OF CYPRESS


5275 Orange Avenue

Cypress, California

Contact Person: Holly Hamlin

(714) 229-6723

Prepared by:

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Professional Planners, Engineers and Surveyors

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Irvine, California 92718

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(714) 472-3505

March 1988

Revised May 1988

Revised August 1988

Revised September 1988

JN 23955

RESOLUTION NO. 3446

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF CYPRESS
APPROVING SPECIFIC PLAN NO. 88-3, SORRENTO RESIDENTIAL
PLANNED COMMUNITY SPECIFIC PLAN.

WHEREAS, the City Council of the City of Cypress conducted a public hearing on August 22, 1988 to consider Specific Plan No. 88-3, a development plan for the Sorrento Residential Planned Community located on 143.9 acres of land at the former Texaco Tank Farm site, as shown in Attachment "A;" and

WHEREAS, the Specific Plan details a land use plan and development criteria for 667 single-family homes, a 6.3-acre community park, landscaped parkways and a circulation system; and

WHEREAS, the Final Environmental Impact Report was prepared in accordance with the requirements of the California Environmental Quality Act and was certified by the Cypress City Council on January 11, 1988, requiring certain mitigation measures as conditions of future development; and

WHEREAS, the proposed Specific Plan is within the scope of the project EIR at a lower density alternative; and

WHEREAS, the proposed Specific Plan is consistent with the General Plan; and

WHEREAS, after a thorough analysis by the City Council of the City of Cypress concerning the plan's future impact on the community, a motion was made to approve the Specific Plan subject to the conditions attached hereto as Exhibit "A."

NOW, THEREFORE, be it resolved that the City Council of the City of Cypress DOES HEREBY APPROVE Specific Plan No. 88-3 subject to the conditions attached as Exhibit "A."

PASSED AND ADOPTED by the City Council of the City of Cypress at a regular meeting held on the 12th day of September 1988.

.....
MAYOR OF THE CITY OF CYPRESS

ATTEST:

.....
CITY CLERK OF THE CITY OF CYPRESS

STATE OF CALIFORNIA)
COUNTY OF ORANGE) SS

I, DARRELL ESSEX, City Clerk of the City of Cypress, DO HEREBY CERTIFY that the foregoing Resolution was duly adopted at a regular meeting of the said City Council held on the 12th day of September 1988; by the following roll call vote:

AYES:	3	COUNCIL MEMBERS:	Kanel, Mullen and Arnold
NOES:	0	COUNCIL MEMBERS:	None
ABSENT:	1	COUNCIL MEMBERS:	Coronado
ABSTAINED:	1	COUNCIL MEMBERS:	Davis

.....
CITY CLERK OF THE CITY OF CYPRESS

EXHIBIT "A"

SORRENTO RESIDENTIAL PLANNED COMMUNITY SPECIFIC PLAN NO. 88-3

CONDITIONS OF APPROVAL

1. The proposed Specific Plan will permit construction of a maximum of 667 single-family homes/lots. The precise plan for the locations, sizes and dimensions of the lots will be required at the time of tentative tract map submittal. Precise plans for housing elevations, plot plans and floor plans will be required for design review by the Design Review Committee prior to issuance of building permits. The proposed tentative tract map, site plans and elevations must be consistent with the Specific Plan.
2. The precise plan for the locations, widths and alignment of streets will be required at the time of tentative tract map submittal.
3. Sidewalks on local streets shall be five feet (5') wide measured from curb face. If there are obstructions such as streetlights or fire hydrants, there shall be a minimum forty-eight inch (48") clearance around such obstructions. The City may require meandering the sidewalk to accommodate such obstructions. All utility obstructions shall be located behind the sidewalk as much as possible.

There shall also be a six-foot (6') wide public utility, sidewalk and tree planting easement in back of the sidewalk. Final design and location of sidewalks, easements and placement of utilities shall be determined by the Design Review Committee.

4. The specific community park site dedication consisting of approximately 6.3 acres including improvements shall be determined by City Council at the time of tentative tract map review and approval.

The developer shall contribute an amount not less than \$500,000 for park improvements. Improvements shall include grass and specimen tree landscaping, an automatic irrigation system, concrete walkways, pathway lighting, a restroom/storage structure and a tot lot. The precise plan for these improvements shall be reviewed and approved by the Cypress Recreation and Community Services Commission. Construction of all improvements shall be done during Phase 1 of the development.

5. A precise landscape and irrigation plan for the perimeter and internal collector parkways shall be reviewed and approved by the Public Works Department prior to the issuance of building permits.

6. The precise school fees for the specific plan shall be calculated and paid prior to issuance of building permits.
7. The applicant shall provide drainage facilities as described in "Section G. Drainage Plan" of the Sorrento Specific Plan.
8. Prior to issuance of building permits, developer shall provide, in form and substance satisfactory to staff and the City Attorney, (1) a certification of completion of site remediation which meets all local, state and federal requirements; (2) a disclosure notice to be recorded on all parcels before opening of escrow and provided to prospective buyers, giving the past use of the property and site remediation measures; and (3) an indemnification assurance to the City from developer or Texaco covering any future hazardous waste cleanup required on the site or associated with it and any and all claims or liabilities arising or alleged to arise from the former use of the site or the site remediation measures.
9. Developer shall cooperate with the City in providing for funding of parkway maintenance at the level required by the City, including the establishment of a landscape maintenance district for the perimeter arterial and internal collector street parkways.
10. The following revisions shall be made to the Sorrento Specific Plan documents:
 - Page 5: First line of last paragraph shall specify a maximum two percent (2%) variance in acreage figures.
 - Page 7: Table 1. Add footnote No. 6 to read:

Development density and dwelling unit counts are maximums. All other statistics are subject to verification at tentative tract map, development agreement and design review stages.
 - Page 10: Change lines 1 and 2 of Item No. 3 to read: "...a 72 ...".
 - Page 11: Exhibit 5. Change Moody Street, Section C-C to show a 17-foot landscaped parkway in a 59-foot dedicated public right-of-way.
 - Page 12. Exhibit 6: Change Ball Road, Section D-D to show a 17-foot landscaped parkway in a 59-foot dedicated public right-of-way. Change Internal Collector Section F-F to show 14-foot landscaped parkways in a 72-foot dedicated public right-of-way.

- Page 14: Paragraph 2 under Section E. Add to basic park improvements the inclusion of specimen-sized trees and a restroom/storage building.
- Page 25: Exhibit 16. Same changes as those to Exhibit 5.
- Page 26: Change line 1 under Moody Street discussion to show a 17-foot wide parkway. Change line 4 under Ball Road discussion to show a 17-foot wide parkway. Change line 1 under Internal Collector discussion to show 14-foot wide parkways.
- Page 27: Exhibit 17. Same changes as those to Exhibit 6.
- Page 34: Exhibit 22. Delete "36 inches" from reference to Temporary Retention Basin.
- Page 38: Exhibit 23. Change rear yard setback dimension to minimum 15 feet.
- Page 40: Exhibit 24. Change rear yard setback dimension to minimum 15 feet.
- Page 49: Add to Paragraph 1 under Section C the same basic park improvements as included on Page 14, as revised.
- Page 50: Add park site development to list of Phase I infrastructure improvements.
- Page 52: B. Enforcement of the Specific Plan. Add the following as third paragraph:

Prior to issuance of building permits, developer shall provide, in form and substance satisfactory to staff and the City Attorney, (1) a certification of completion of site remediation which meets all local, state and federal requirements; (2) a disclosure notice to be recorded on all parcels before opening of escrow and provided to prospective buyers, giving the past use of the property and site remediation measures; and (3) an indemnification assurance to the City from developer or Texaco covering any future hazardous waste cleanup required on the site or associated with it and any and all claims or liabilities arising or alleged to arise from the former use of the site or the site remediation measures.

ORDINANCE NO. 805

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF CYPRESS AMENDING ORDINANCE NO. 640, THE ZONING ORDINANCE OF THE CITY OF CYPRESS, BY CHANGING THE ZONING CLASSIFICATION OF CERTAIN PROPERTY FROM RS-6,000 TO PC-25A, PLANNED COMMUNITY NO. 7 (ZONE CHANGE NO. 88-6), AND ADOPTING DEVELOPMENT STANDARDS FOR SAID PROPERTY.

WHEREAS, the Planning Department of the City of Cypress, after a duly noticed public hearing, has recommended approval of Zone Change No. 88-6, changing the zoning classification of the subject property from RS-6,000 (single-family residential) to PC-25A (Planned Community No. 7) residential and establishing development standards for said property; and

WHEREAS, an Environmental Impact Report was prepared in accordance with the requirements of the California Environmental Quality Act and was certified by the City Council on January 11, 1988; and

WHEREAS, the Sorrento Residential Planned Community Specific Plan was approved by the City Council on August 22, 1988; and

WHEREAS, the proposed zone change is consistent with the Sorrento Residential Planned Community Specific Plan.

WHEREAS, a duly noticed public hearing for the consideration of the zone change was held by the City Council of the City of Cypress on the 22nd day of August 1988; and

WHEREAS, the City Council of the City of Cypress has considered evidence presented by the applicant, the City staff and other interested parties at the public hearing held with respect thereto.

NOW, THEREFORE, THE CITY COUNCIL OF THE CITY OF CYPRESS HEREBY DOES ORDAIN AS FOLLOWS:

Section 1. The change of zone is consistent with the General Plan of the City of Cypress and the Sorrento Residential Planned Community Specific Plan.

Section 2. All that certain properties described in Attachment "A" attached hereto and by this reference incorporated herein, is hereby rezoned from RS-6,000 to PC-25A.

Section 3. The development standards for the property described in Attachment "A" shall be as set forth in Specific Plan No. 88-3, Sorrento Residential Planned Community, a copy of which is on file in the Office of the City Clerk and by this reference incorporated herein.

Section 4. The official Zoning Map of the City of Cypress is hereby amended to reflect the change of zone approved herein.

FIRST READ at a regular meeting of the City Council of said City held on the 22nd day of August 1988 and finally adopted and ordered posted at a regular meeting of said Council on the 12th day of September 1988.

/S/MARGARET M. ARNOLD

MAYOR OF THE CITY OF CYPRESS

ATTEST:

/S/ DARRELL ESSEX

CITY CLERK OF THE CITY OF CYPRESS

I, DARRELL ESSEX, City Clerk of the City of Cypress, DO
HEREBY CERTIFY that the foregoing Ordinance was duly adopted at a
regular meeting of the said City Council held on the 12th day of
September 1988, by the following roll call votes:

AYES: 3; COUNCIL MEMBERS: Kanel, Mullen and Arnold

NOES: 0 COUNCIL MEMBERS: None

ABSENT: 1 COUNCIL MEMBERS: Coronado

ABSTAINED: 1 COUNCIL MEMBERS: Davis

/S/ DARRELL ESSEX
CITY CLERK OF THE CITY OF CYPRESS

ATTACHMENT "A"

MAIL RECORDING FIRM TO:
CYPRESS HOMES, INC.
7 THE FIELDSTONE C...
14 CORPORATE PLAZA
NEWPORT BEACH, CA 92660
ATTENTION MR. D.R. LANGLOIS

RECORDED 12/11/87

87-013015

\$7.00

Recorded at the request of
FIRST AMER. TITLE INS. CO.

8:00
A.M. 9 JAN 1987

Official Records Orange County, Calif.

John A. Brand Recorder

MAIL TAX STATEMENTS TO CORPORATION GRANT DEED
THE ABOVE ADDRESS

RECEIVED DEC 11 1987

TEXACO REFINING AND MARKETING INC., a Delaware corporation
successor in interest to Texaco Inc., a Delaware corporation for
valuable consideration, the receipt of which is hereby acknow-
ledged, does hereby grant and convey to Cypress Homes, Inc., a California
all that real property located in the City of Cypress, County corporation
of Orange, State of California, more particularly described as
follows:

The southeast quarter of Section 17, Township 4 South,
Range 11 West in the Rancho Los Coyotes, as shown on a map
recorded in Book 51, page 11 of Miscellaneous Maps, records
of Orange County, California. Excepting therefrom the
West 20.00 acres of the Northwest quarter of the Southeast
quarter of said Section 17.

This Grant and Conveyance is made on the condition that
said real property shall not be used for the retail sale
of petroleum products for a period of ten (10) years from
the date hereof.

Excepting and reserving unto grantor all of the minerals,
including and without limitation, all the oil, gas and
other hydrocarbon substances below five hundred (500)
feet from the surface but without any rights to use the
surface or that portion of said land lying within five
hundred (500) feet of the surface, and also excepting and
reserving unto grantor the right to drill into and through
said land below five hundred (500) feet from the surface.

This Grant and Conveyance is made upon Grantee's full
knowledge that said real property has previously been used
for storage of crude oil, fuel oil, refinery intermediate
products and/or refined products.

Excepting therefrom all improvements, structures, and
buildings located on said land as existed thereon as of the
date of recording of this deed. NOTE: All grantor's right
and title to any and all improvements located on the land
described herein will terminate upon the recording of a
notice of completion by said grantor signifying the removal
of said improvements.

Subject to the covenants, conditions, restrictions, reser-
vations, encumbrances, liens, and easements now of record.

IN WITNESS WHEREOF, TEXACO REFINING AND MARKETING INC. has
caused its corporate name and seal to be affixed hereto and this
instrument to be executed by its Regional Manager and attested
by an Assistant Secretary thereunto duly authorized this 5TH
day of January, 1987.

TEXACO REFINING AND MARKETING INC.

By: *J. A. ...*
ATTORNEY-IN-FACT

ATTEST: *Stephen M. ...*
ASSISTANT SECRETARY

FATCO 1455863-5 K&K

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Introduction

S O R R E N T O

Cypress Homes, Inc.

I. INTRODUCTION

A. PROJECT BACKGROUND AND DESCRIPTION

The Sorrento Specific Plan site is approximately 144 acres located in the west central area of Cypress. The site was most recently used for petroleum products, fuel and oil storage facilities. The facility, known as the Texaco Tank Farm, has occupied this site since the 1920's before the incorporation of the City. The tanks have been dismantled and the site is being cleaned in order for development of the property to occur. A Negative Declaration was prepared in conjunction with the dismantling of the tops and sides of the storage tanks.

In 1986, the project site was considered for inclusion in the Civic Center-Redevelopment Project but was never adopted into the area. This inclusion would have amended the adopted 1982 Redevelopment Plan by extending the influence boundary to contain the Tank Farm Site and designating the subject property for single family development with an RS-6000 zoning classification. The project site is currently being reconsidered for inclusion into the redevelopment area.

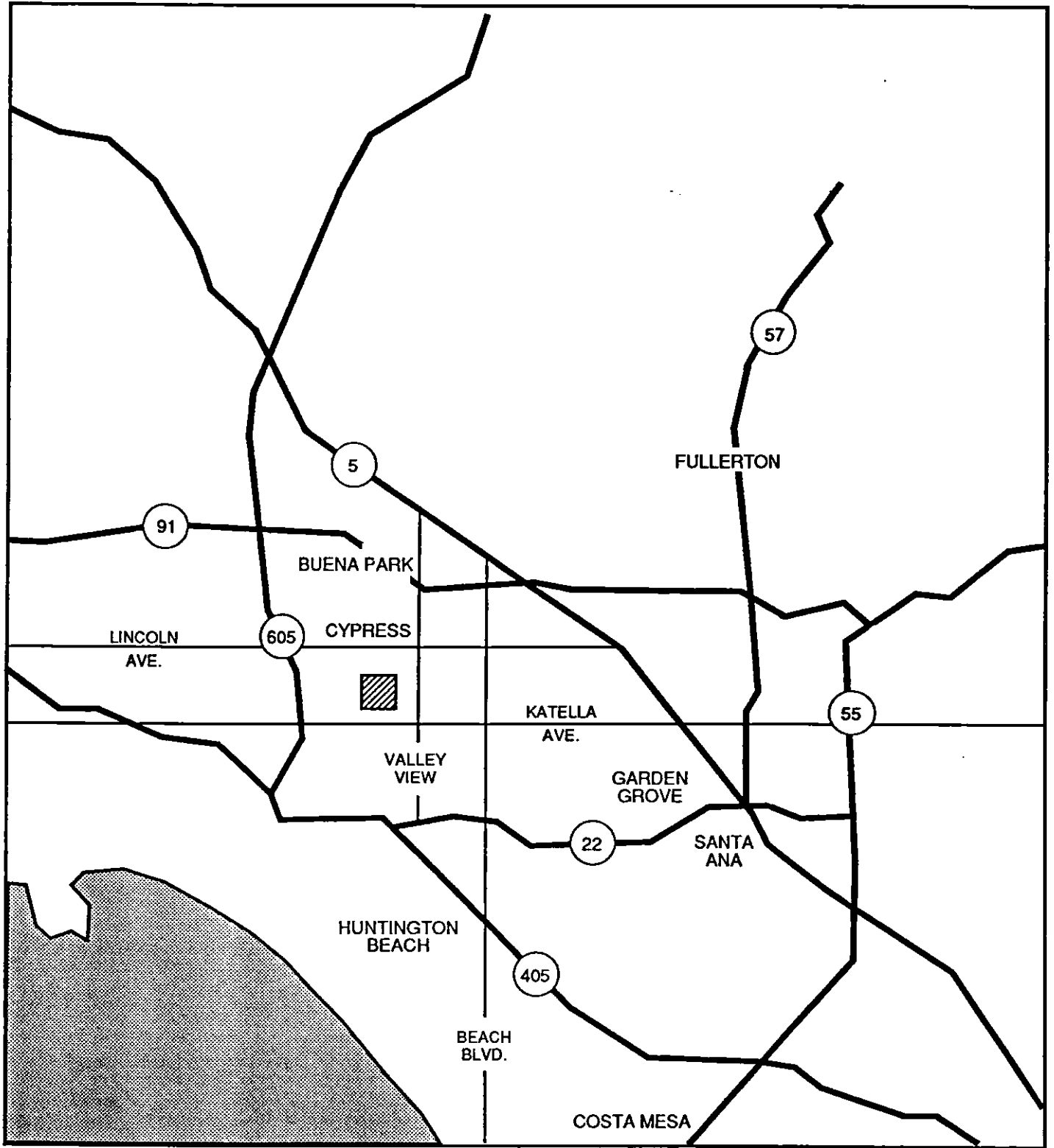
Access to the area is provided by four major streets that act as boundaries to the project site. These streets are Orange Avenue to the north, Moody Street to the east, Ball Road to the south and Denni Street to the west. An open drainage channel runs along the north and west boundaries of the property, adjacent to an existing single family subdivision and Orange Avenue. Additional uses adjacent to the site include single family detached residential to the east, north and west and single family attached units to the south. Neighborhood commercial uses are located at the northeast, southeast and southwest corners of the Moody Street/Ball Road intersection. Exhibits 1 and 2 (REGIONAL VICINITY MAP and SITE VICINITY MAP) show the Specific Plan area and the vicinity of the proposed project.

B. PURPOSE AND INTENT

The Sorrento Specific Plan, when adopted by the City Council, will serve a planning and regulating function for the orderly growth and development of one-hundred and forty-four acres in the City of Cypress. It is the intent of this Plan to establish development regulations and design guidelines that will ensure a quality development in the plan area that contributes to the City's housing supply, is consistent with the goals, objectives and policies of the Cypress General Plan, and is compatible with adjacent land uses. The Specific Plan provides regulations and standards that unify the residential neighborhoods, circulation system, landscaping and open space/park areas into a comprehensive development program. The Specific Plan text and graphics will serve as the development code for the Sorrento community.

S O R R E N T O

Cypress Homes, Inc.



 Project Site

NOT TO SCALE



Regional Vicinity Map

Exhibit 1

C. CALIFORNIA ENVIRONMENTAL QUALITY ACT (CEQA) COMPLIANCE

The Sorrento Specific Plan was prepared in compliance with the California Environmental Quality Act (CEQA). An Environmental Impact Report (EIR) was prepared to respond to the land uses proposed for the Specific Plan site and was certified by the Cypress City Council on January 11, 1988. The certified EIR is applicable to all future developments which are processed within the Specific Plan area, including precise plans, site plans, tract or parcel maps.

D. AUTHORITY AND SCOPE

Cities are authorized by the California Government Code to adopt Specific Plans under Title 7, Division 1, Chapter 3, Article 8, Sections 65450 through 65457. Specific Plans may be adopted as policies by resolution or as regulations by ordinance. The Sorrento Specific Plan will be adopted by resolution. A Planned Community Zone will then adopt the content of the Specific Plan as an ordinance. State law requires public hearings by both the Planning Commission and City Council. The City Council must adopt the Specific Plan for it to be in effect. City Council action alone will satisfy this Government Code requirement, since Cypress does not operate with a Planning Commission.

The Sorrento Specific Plan is a regulatory plan which will constitute the zoning for the subject property. Development plans or agreements, tract or parcel maps, precise development plans or any action requiring ministerial or discretionary approval on this property must be consistent with the Specific Plan. Actions deemed to be consistent with the Specific Plan will be judged to be consistent with the Cypress General Plan, as is mandated in Section 65454 of the California Government Code. Statements demonstrating General Plan consistency with the proposed development program are included in Section V of this report, as required by Government Code.

Development Plan

S O R R E N T O

Cypress Homes, Inc.

II. DEVELOPMENT PLAN

A. PLANNING GOALS AND OBJECTIVES

The Sorrento Specific Plan is designed to implement the goals and objectives of the City of Cypress. Specific conformity to the Cypress General Plan is discussed in more detail in Section VI as required by State law.

- The primary objective of the Sorrento Specific Plan is to convert existing incompatible industrial uses on the project site to residential use. It is also the objective of the proposed project to provide improvements to the street system and other public facilities.
- The City of Cypress is a developed urban environment. The proposed project is located on the last large vacant residential property available in the City, and will provide needed housing for current and future residents of Cypress.
- The proposed project is designed to maximize compatibility with adjacent land uses and provide needed park and open space. The provisions of the Development Plan fulfill a portion of the Cypress park acquisition goal. In the City's fully developed condition, the proposed park area is likely to be the last land available for park dedication.

The construction of the Sorrento community will take place over a period of approximately 5 years to provide for the coordinated development of housing, open space and infrastructure.

B. LAND USE PLAN

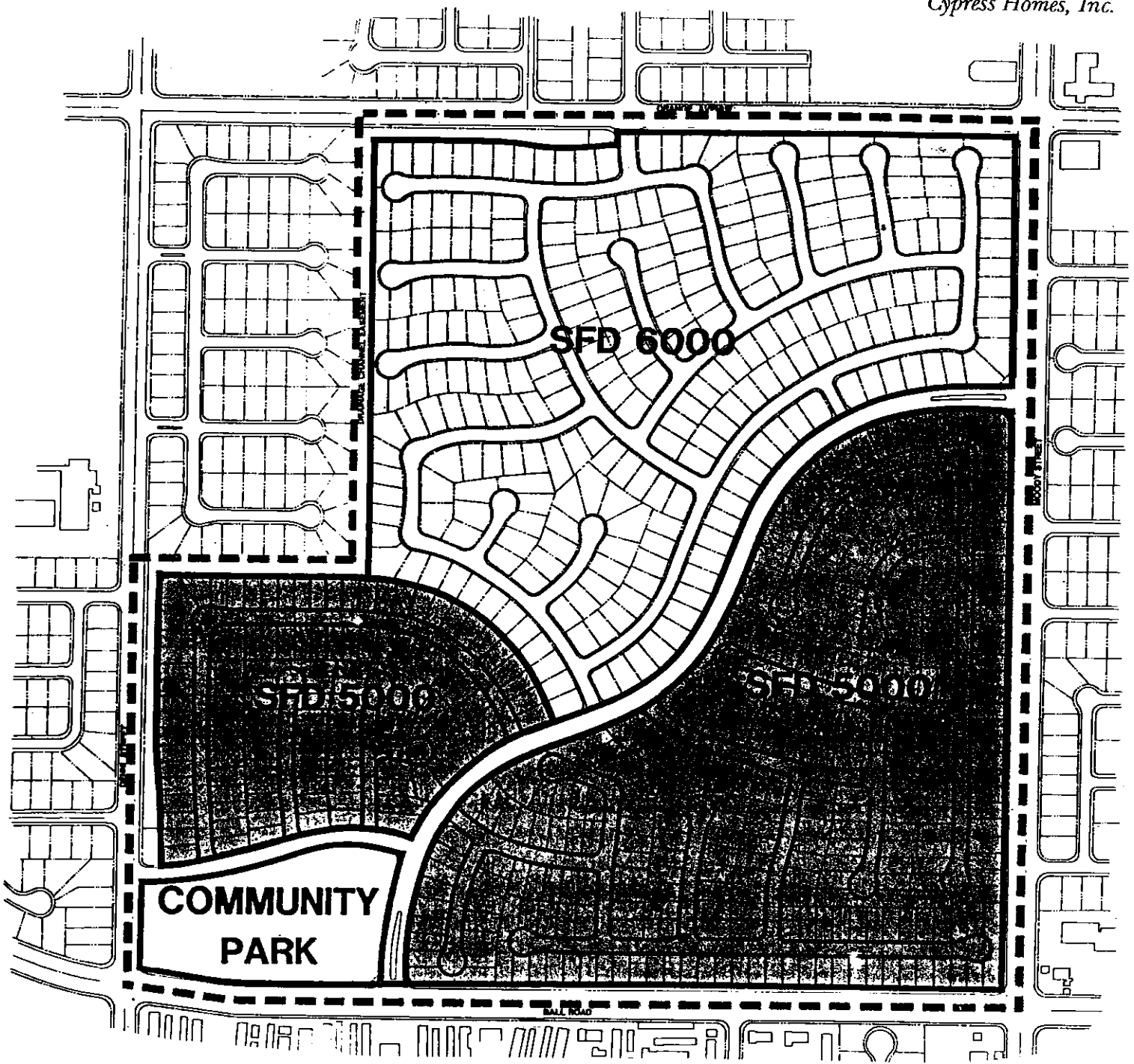
The Sorrento land use plan (see Exhibit 3, LAND USE PLAN, and Table 1, LAND USE STATISTICS) is designed to provide a planned community of residential development. The Specific Plan area consists of 143.9 acres, and will include a variety of single family detached units. Two sizes of detached lots are offered in the Plan, at a minimum of 6,000 and 5,000 square feet. Densities range from 4.9 to 6.2 units per net acre. The overall gross density is 4.6 dwelling units per acre.

A community park will be dedicated to the City, providing active and passive recreation facilities as determined through an ongoing community meeting process. The size of the park is approximately 6.3 acres; this figure is subject to change based upon City park dedication requirements.

All acreage figures in the Specific Plan are approximate within 2% due to the scale at which they were measured. Exact figures will be calculated at the time of tentative tract map preparation, subject to approval and verification by City staff.

S O R R E N T O

Cypress Homes, Inc.



 Project Boundary

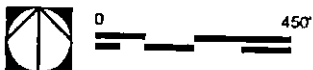
 Single Family Detached

Source:

 John L. Chapman
LAND PLANNING

LAND USE	ACRES	MAXIMUM UNITS	NET DENSITY	GROSS DENSITY
SFD 6000	54.4	268	4.9	
SFD 5000	64.6	399	6.2	
TOTAL	119*	667	5.6	4.6

*Note: Residential Acreage Total;
Total Gross Acreage - 143.9 acres.



Land Use Plan

Exhibit 3

**TABLE 1
LAND USE STATISTICS**

Use	Acreage	Dwelling Units (Maximum)	Gross Density	Net ¹ Density
RESIDENTIAL DETACHED				
SFD-6000	54.4	268		4.9
SFD-5000	64.6	399		6.2
Subtotal	119.0	667		
INFRASTRUCTURE²				
Perimeter Street Dedication	7.3			
Collector Street	3.2			
Perimeter and Collector Parkway Landscaped Area	4.6 ³			
Drainage Channel	3.5			
Community Park ⁴	6.3			
Subtotal	24.9			
TOTAL	143.9 ⁵	667	4.6	5.6

¹Net area includes local streets.

²Excludes local streets.

³Acreage includes 2.1 acres in excess of City requirements.

⁴Park size of approximately 6.3 acres shall be that area measured within the boundaries delineated by back edges of the perimeter sidewalks surrounding the park.

⁵Gross acreage.

⁶Development density and dwelling unit counts are maximums. All other statistics are subject to verification at tentative tract map, development agreement and design review stages.

Project land uses consist of the following:

1. Residential—Single Family Detached (SFD):

Two types of Single Family Detached (SFD) products will be offered, providing a range of size, floor plan, price, and style.

- **SFD-6000:** A total of 268 units will be offered, sited on minimum 6,000 square foot lots. A variety of plans will be available with two or three car garages. Average lot size of this product type is estimated to exceed 6,700 square feet.
- **SFD-5000:** A total of 399 dwellings will be available on minimum 5,000 square foot lots. A variety of floor plans will be available, including three and four bedroom two story configurations with two or three car garages. Average lot size of this product is estimated to exceed 5,500 square feet.

Development Regulations including permitted uses, minimum lot sizes and setbacks, special requirements and performance standards by land use, are detailed in Section III.

2. Community Park

A community park site consisting of approximately 6.3 acres on the corner of Ball Road and Denni Street will be dedicated to the City of Cypress.

C. CIRCULATION PLAN

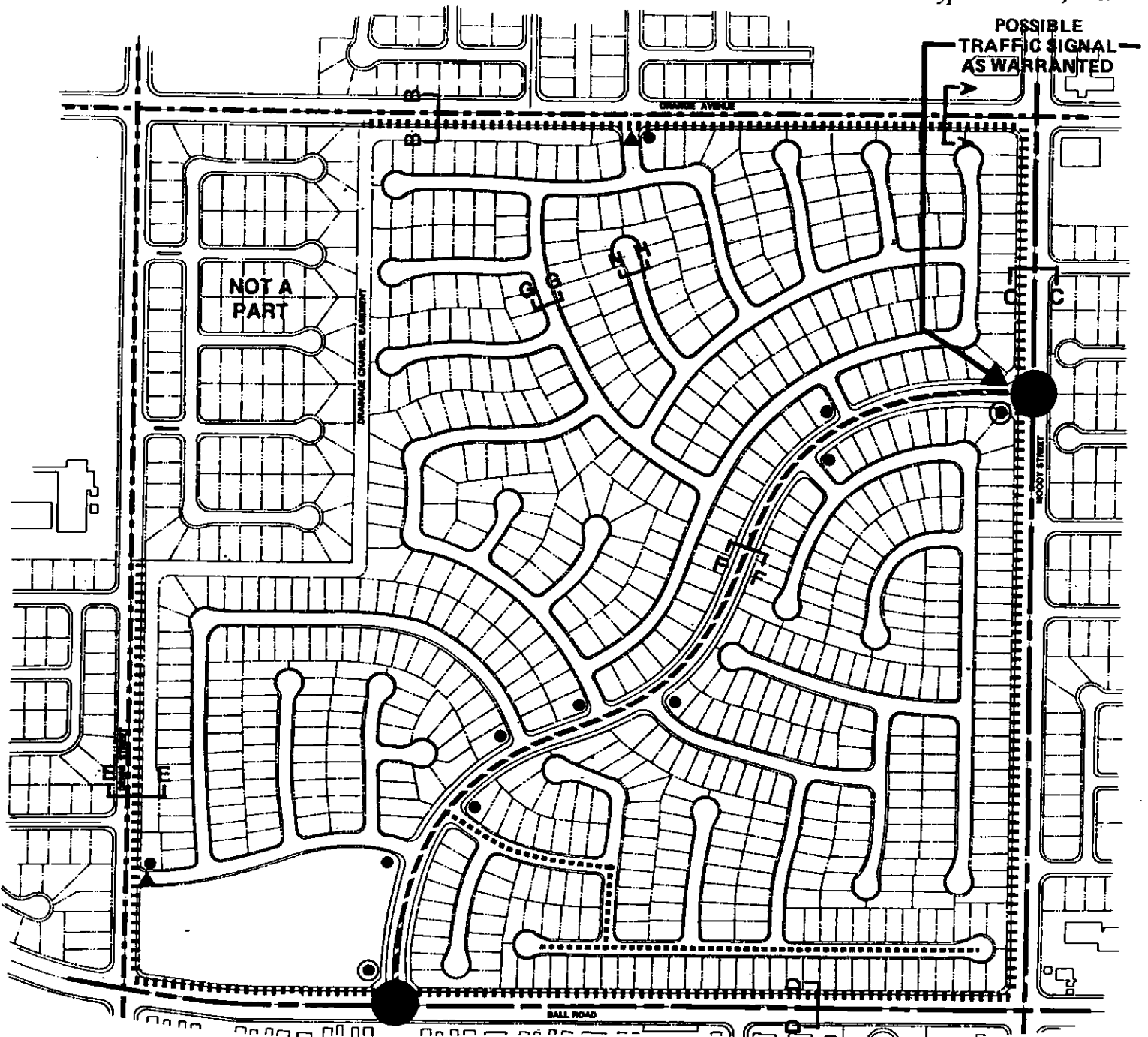
The Circulation Plan provides for safe, adequate vehicular and pedestrian movement within the Sorrento residential community, and provides appropriate access to the community from peripheral arterials. Stop signs and traffic signals are provided as shown in Exhibit 4, CIRCULATION PLAN. Any collector or street intersecting: 1) a primary arterial; 2) a secondary arterial, or 3) the Internal Collector, shall end with a stop sign or a traffic signal at that intersection. Components of the Circulation Plan include:

1. Primary Arterials

Ball Road is a four lane, divided primary arterial to the south of the project site; Moody Street is a four lane, undivided primary arterial to the east of the project site (see Exhibits 5 and 6, STREET SECTIONS). The intersection of the Internal Collector with Ball Road will be signalized and coordinated with other Ball Road signals at the time of Phase I development. The project entry at Moody Street will be signalized and coordinated with other Moody Street signals if and when the City Engineer determines a signal is warranted. A cash bond, irrevocable letter of credit, or equivalent security as determined by the City Engineer, shall be posted by the project developer for such installation in an amount to be determined by the City Engineer.

SORRENTO

Cypress Homes, Inc.



- | | | | | | |
|--|--------------------|--|------------------------|--|----------------------|
| | Stop Sign | | Local Street (Typical) | | Minor Project Entry |
| | Traffic Signal | | Internal Collector | | Off-Street Bike Path |
| | Primary Arterial | | Primary Project Entry | | |
| | Secondary Arterial | | Section Marker | | |

NOTE: All Primary and Secondary Arterials and Internal Collector on Street Parking shall be Prohibited and "No Parking Anytime" or "No Stopping Anytime" Signs shall be Posted on those Streets

Source:



Circulation Plan

Exhibit 4

2. Secondary Arterials

Orange Avenue is a four lane undivided secondary arterial to the north of the project site; Denni Street is a four lane undivided secondary arterial to the west of the project site (see Exhibits 5 and 6, STREET SECTIONS). Project related improvements will consist of left turn lanes into the site minor entries, and upgrading of curbs and sidewalks.

3. Internal Collector

The Internal Collector consists of a 44 foot two lane curvilinear road (curb to curb) with a 72 foot right-of-way (see Exhibit 6, STREET SECTIONS). The Internal Collector provides access into the site through two major project entries on Moody Street and Ball Road.

4. Local Streets

The proposed circulation system contains a number of cul-de-sacs and other local streets which provide access to residences from the Internal Collector and the minor entries on Orange Avenue and Denni Street. Local streets consist of 40-foot paving (curb-to-curb) with a 50 foot right-of-way; cul-de-sacs consist of 36-foot paving (curb-to-curb) with a 46 foot right-of-way (see Exhibit 7, STREET SECTIONS).

Many cul-de-sacs have been included in the Plan due to the public's demand for them. An attempt will be made at the time of tentative tract map preparation to minimize the length of those that exceed 300 feet.

In most cases, those local streets which intersect the Internal Collector will align on opposite sides of the Collector street to form four-way intersections.

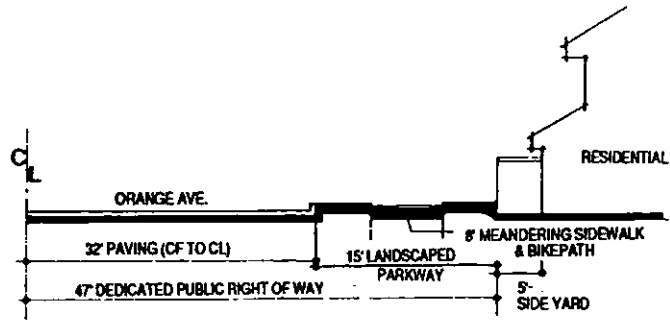
5. Pedestrian Walkways

Pathways for pedestrian use occur on all peripheral and interior streets, and throughout the community park (see Exhibits 5, 6, and 7, STREET SECTIONS). Pathways are a minimum of five feet (5') wide for pedestrian use, and eight feet (8') wide for off-street bicycle and pedestrian use.

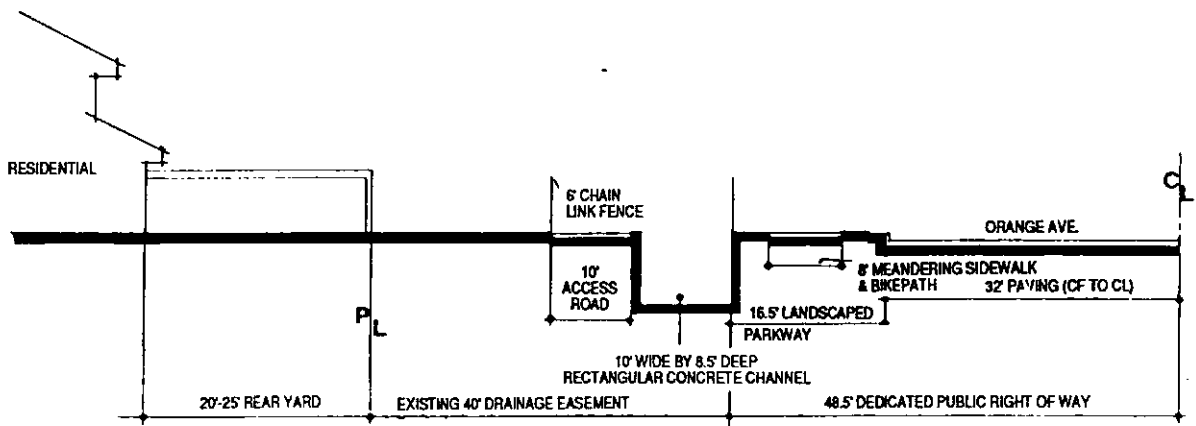
Sidewalks shall be five feet (5') wide from curb face to back of walk except where there are obstructions such as street lights, fire hydrants, or other utilities at the back of curb. At that point the sidewalk shall be widened to allow a 48" clearance around the obstruction. In addition to the 5' sidewalk there shall be a six foot (6') utility, street tree, and sidewalk easement within the property line, and adjacent to the walk.

6. Bike Paths

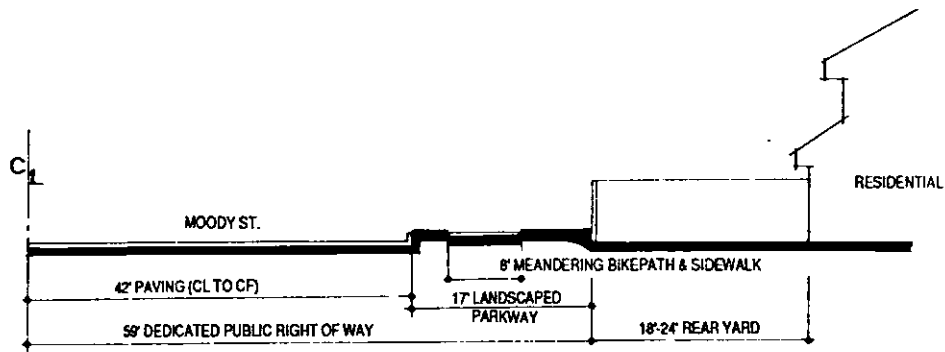
Pathways for bicycle use occur on all peripheral arterials (see Exhibits 4, 5 and 6, CIRCULATION PLAN and STREET SECTIONS). Ball Road, Denni Street, Moody Street and Orange Avenue currently have off-street bike paths on the project side of the street. These will be retained and improved. The pathways at Denni Street and Ball Road may connect through the community park depending upon final park facilities design. The minimum width for off-street bicycle paths is 8 feet.



ORANGE AVENUE SECTION A-A



ORANGE AVENUE SECTION B-B (ω) DRAINAGE CHANNEL



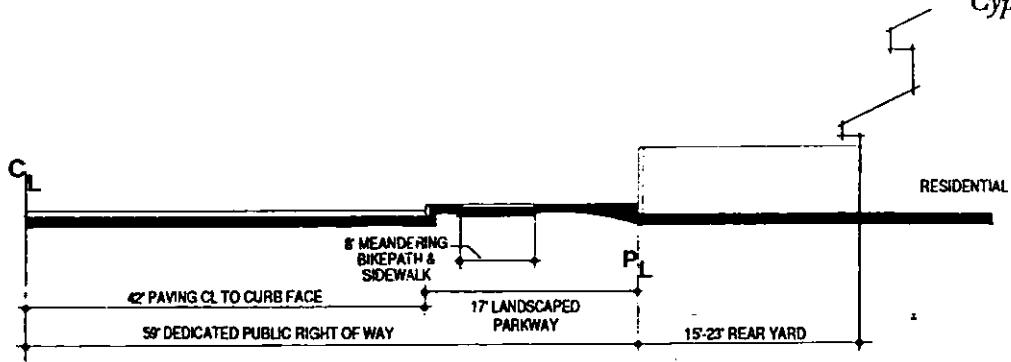
MOODY STREET SECTION C-C

Source:

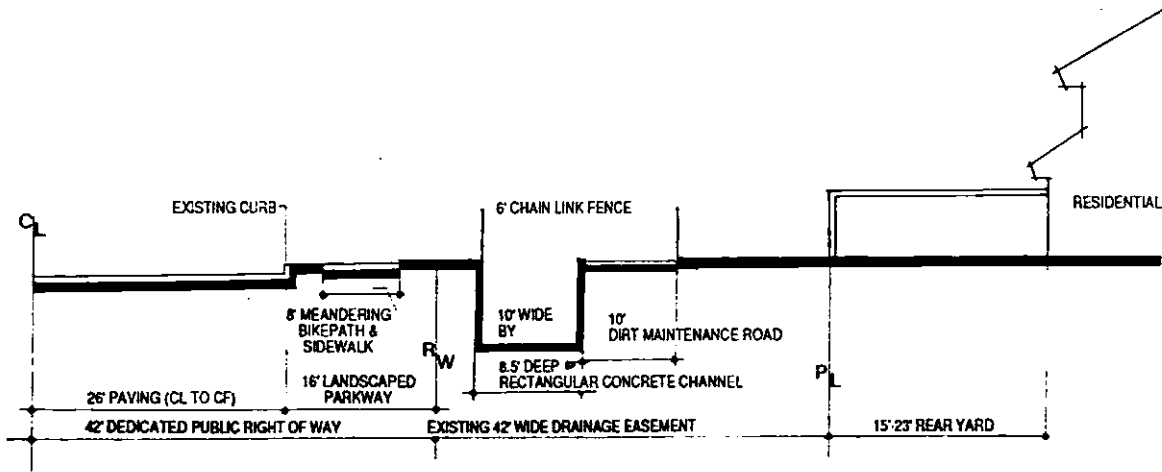


NOT TO SCALE

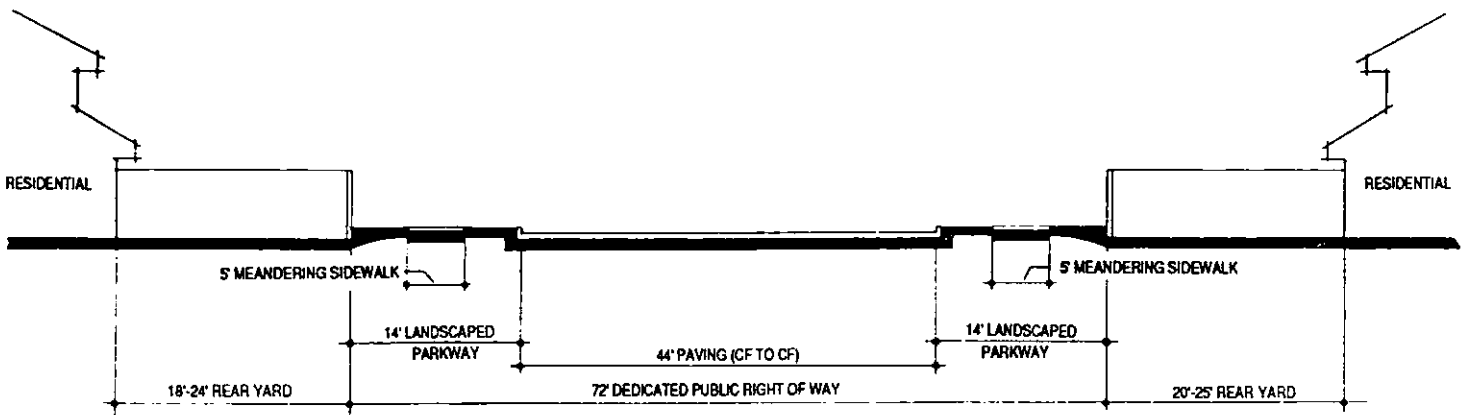




BALL ROAD SECTION D-D



DENNI STREET SECTION E-E @ DRAINAGE CHANNEL



INTERNAL COLLECTOR SECTION F-F

Source:



NOT TO SCALE

D. PUBLIC FACILITIES

1. Water System

The Sorrento Specific Plan area is served by the Southern California Water Company West Orange County Station. Existing backbone water lines in Orange Avenue, Moody Street, Ball Road and Denni Street surround the entire project (see Exhibit 8, PUBLIC FACILITIES; WATER SYSTEM PLAN). According to the Southern California Water Company, these lines will adequately provide water for domestic and irrigation uses as well as provide adequate fire flow pressure to proposed fire hydrants. Water will be supplied to the project site through 12-inch mains on Orange Avenue and Moody Street, a 10-inch main on Denni Street, and a 10-inch main across Ball Road.

A proposed 10-inch water line will run the entire length of the Internal Collector tying into the existing 12-inch line in Moody Street and 10-inch line in Denni Street. To ensure an adequate loop system, 8-inch water lines will be tapped into existing 12-inch water lines on Moody Street and Orange Avenue, and an existing 10-inch line across Ball Road.

2. Sewer System

The project is within Orange County Sanitation District No. 3, and will be served by the Westside Relief Trunk Sewer. The existing sewer system was planned for maximum density development, and should have sufficient capacity to accommodate the Sorrento project.

Sewers will consist of 10-inch and 8-inch pipe and will drain in a generally southerly or southwesterly direction across the Project, tying into the existing 24-inch VCP line in Denni Street (see Exhibit 9, PUBLIC FACILITIES; SEWER SYSTEM PLAN).

E. PARKS AND OPEN SPACE

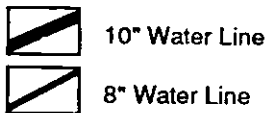
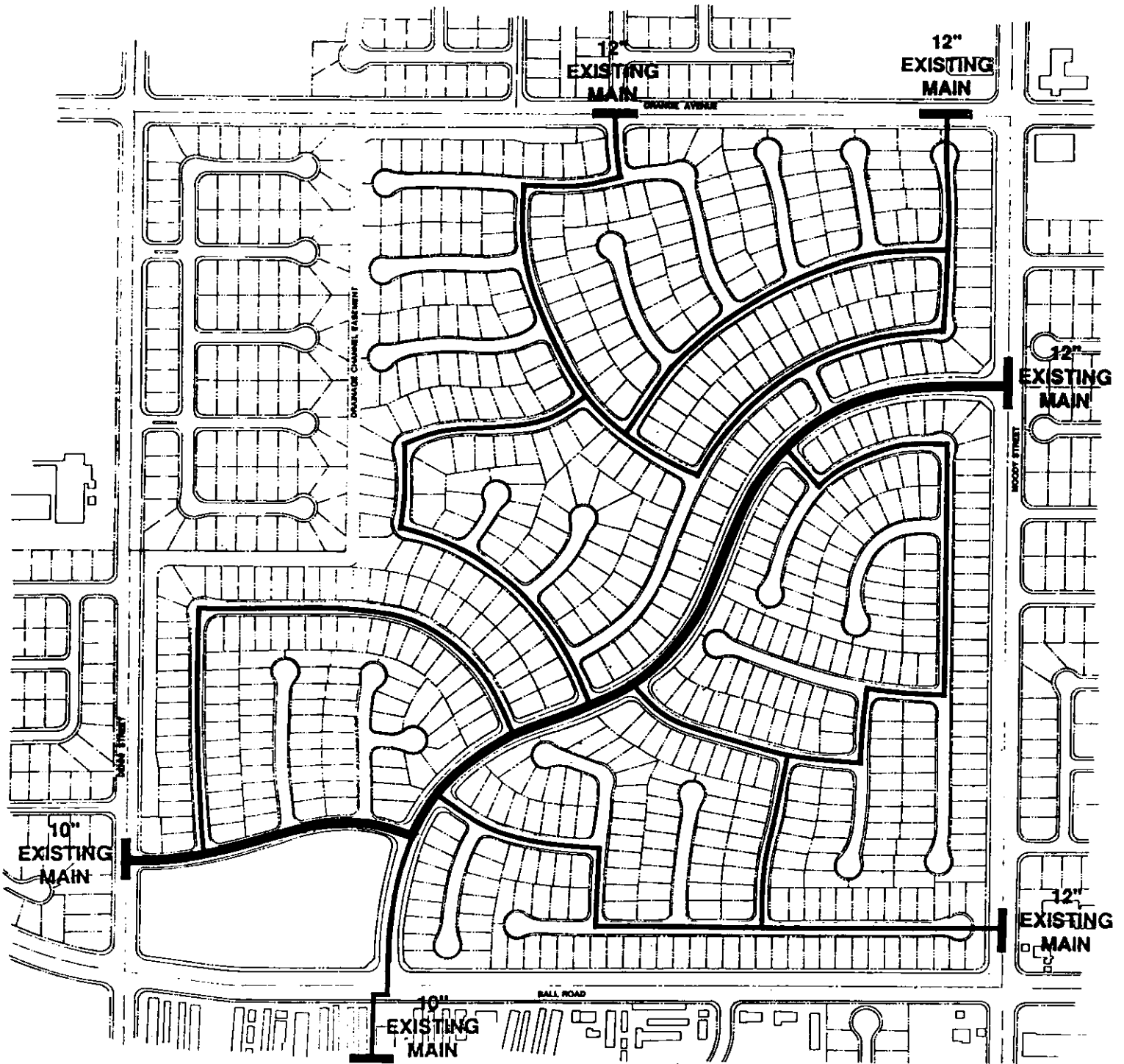
Overall, the Sorrento residential community provides approximately 10.9 acres (7.6%) of open space, including the 6.3 acre community park and 4.6 acres of dedicated interior and peripheral landscaped parkways (see Exhibit 10, PARK AND OPEN SPACE PLAN). The drainage channel is not included in calculations of park or open space credit.

A community park site consisting of approximately 6.3 acres will be dedicated to the City, providing active and passive recreation facilities as determined by the City. Basic park improvements will consist of site grading and soil amendments, turf and tree landscaping (including specimen-sized trees), automatic irrigation systems, concrete walkways, pathway lighting, a restroom/storage building, and a tot-lot.

An assessment of local residential needs and desires is being undertaken through ongoing community meetings. Input and ideas are being solicited to formulate a program of recreational amenities for the community park. This program will be implemented by the Cypress Recreation and Parks District.

SORRENTO

Cypress Homes, Inc.



Source:



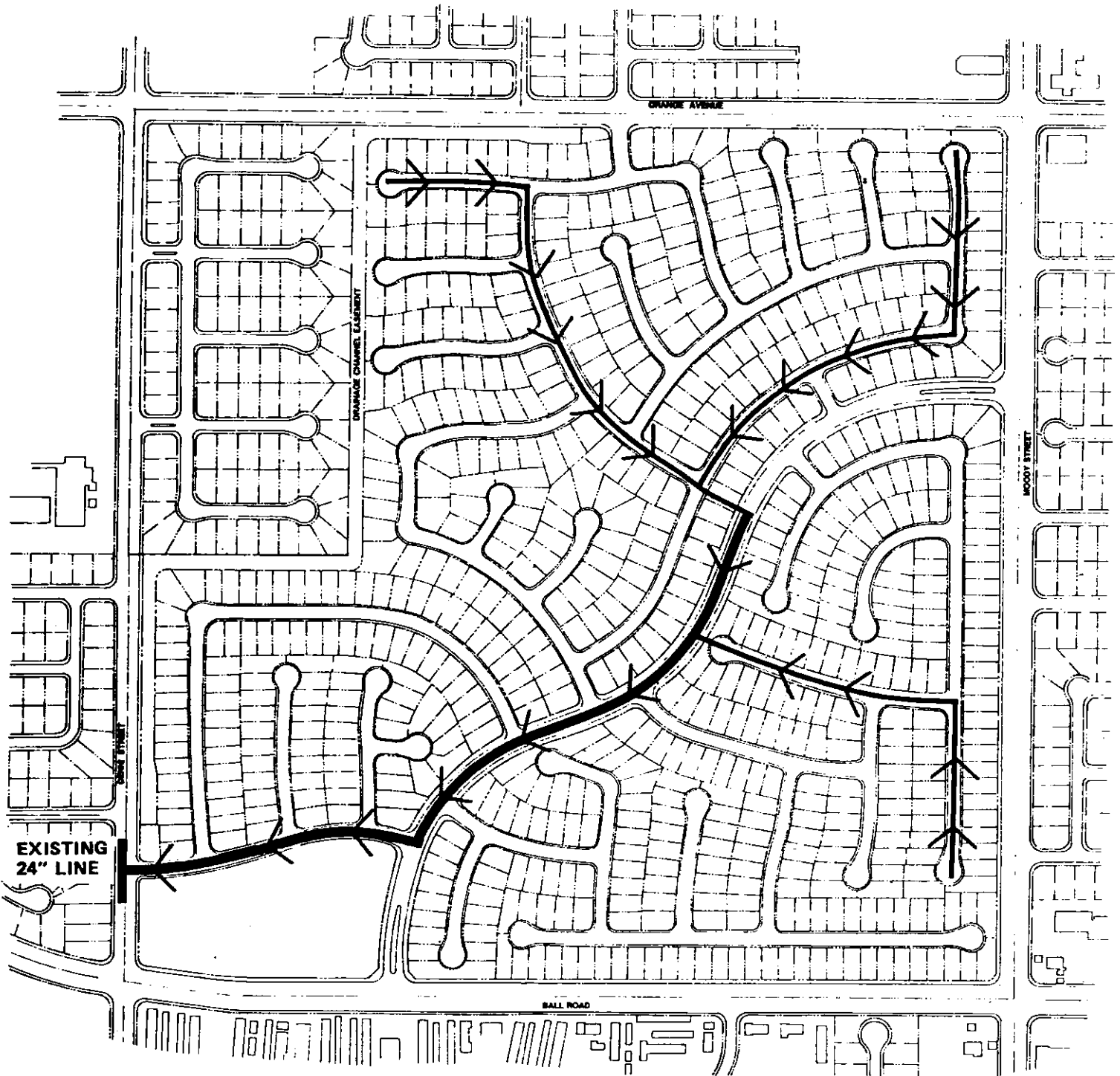
Public Facilities



Water System Plan

Exhibit 8

SORRENTO

Cypress Homes, Inc.



-  10" Sewer
-  8" Sewer

Source:



Public Facilities

Sewer System Plan

Exhibit 9

The proposed park is located on the corner of peripheral arterials connecting with bus lines and bicycle paths. A network of pedestrian pathways extends the interior open space system of landscaped setbacks and parkways into the surrounding community through the community park and landscaped parkways along peripheral arterials.

The park size of approximately 6.3 acres shall be that area measured within the boundaries delineated by the back edges of the perimeter sidewalks surrounding the park.

F. LANDSCAPE PLAN

The Landscape Plan (see Exhibit 11, LANDSCAPE PLAN) consists of three elements: Entry Treatments, Streetscapes and a Wall Plan. Plant material sizes are detailed in Development Regulations, Section III.

1. Entries

Two major community entrances will be provided, at the intersections of the Internal Collector with Ball Road and Moody Street (see Exhibits 12, and 13, COMMUNITY ENTRY). Each will have accent landscape treatment including landscaped medians, low entry walls and Sorrento identification signage. Accent plant materials will include large canopy flowering trees along the parkways and vertical trees in the median. Entry walls will have a flowering ground cover in the foreground.

- Feature Trees:**
- *Erythrina Caffra* (Coral tree)
 - *Arecastrum romanzoffianum* (Queen Palm)

Shrubs and groundcover will emphasize the use of flowering varieties, such as Indian Hawthorn, Hebe, Lily of the Nile and Daylily.

Neighborhood entries will occur where local streets intersect the Internal Collector (see Exhibit 14, NEIGHBORHOOD ENTRY). Landscape treatment will include canopy trees with vertical accents.

- Feature Trees:**
- *Ficus nitida* (Indian Laurel Fig)
 - *Arecastrum romanzoffianum* (Queen Palm)

2. Streetscapes:

Perimeter conditions consist of primary and secondary arterials along the four project boundaries--Orange Avenue to the north, Moody Street to the east, Ball Road to the south and Denni Street to the west. Streetscape treatment will provide a smooth transition between the Sorrento community and the surrounding neighborhoods.

Landscape treatment will include sidewalks, bikepaths, berming, automatic irrigation systems, and street trees, shrubbery, and groundcovers as follows:

SORRENTO

Cypress Homes, Inc.



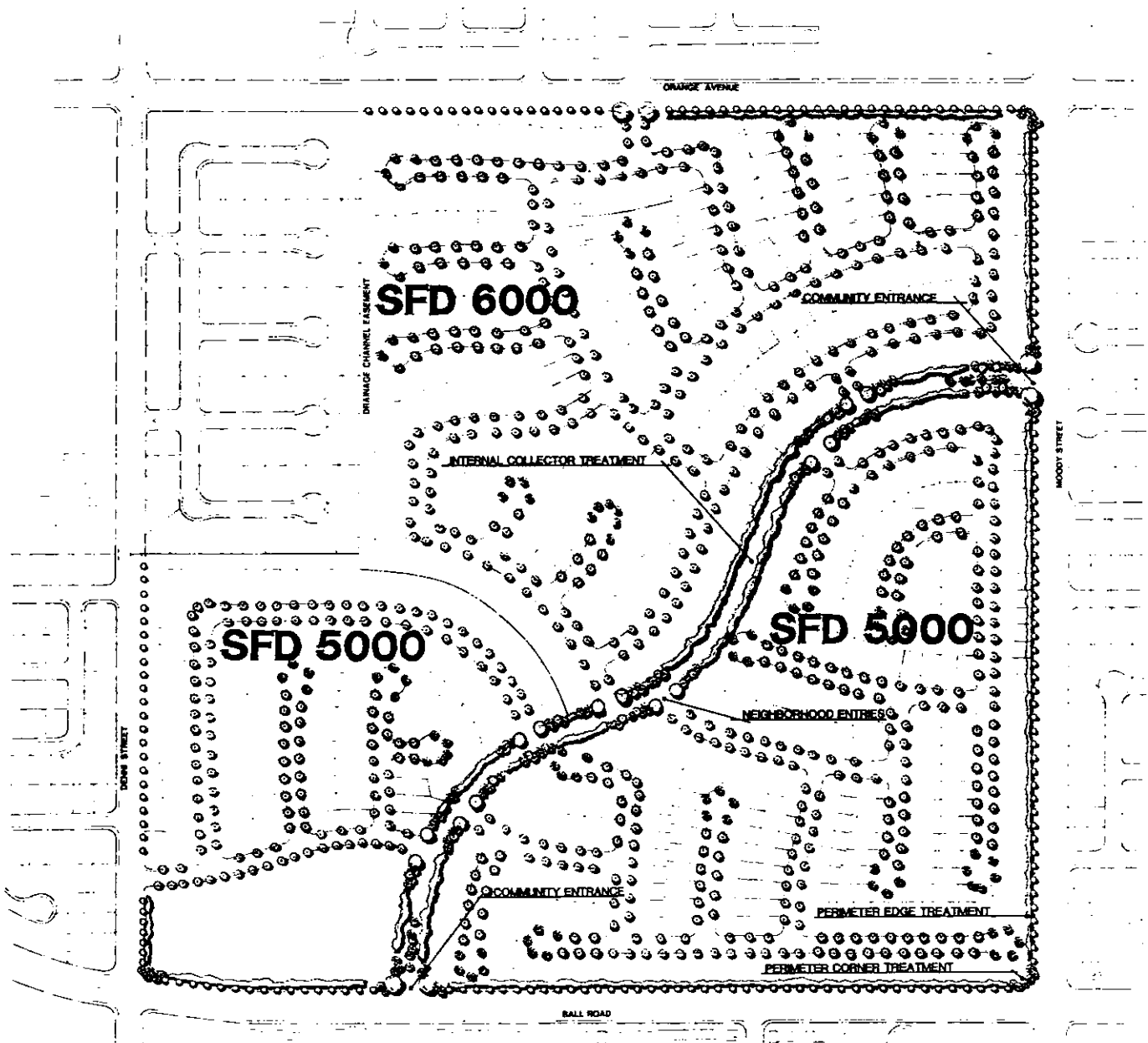
 Open Space

 SFD Single Family Detached

Source:
 FRANK RADMACHER ASSOCIATES, INC. Landscape Architects



Park and Open Space Plan



LANDSCAPE CONCEPT LEGEND

SFD 6000

- A. NEIGHBOR ENTRY TREE
1. *Ficus nitida* / Indian Laurel Fig
- B. PRIMARY STREET TREE
1. *Cupaniopsis anacardioides* / Carrotwood
- C. SECONDARY STREET TREES
1. *Lagerstroemia Indica* / Crape Myrtle
2. *Pyrus kawakamii* / Evergreen Pear
3. *Bauhinia variegata* / Purple Orchid Tree
- D. CUL-DE-SAC TREE
1. *Arecastrum romanzoffianum* / Queen Palm

SFD 5000

- A. NEIGHBORHOOD ENTRY TREE
1. *Ficus nitida* / Indian Laurel Fig
 - B. PRIMARY STREET TREE
1. *Cupaniopsis anacardioides* / Carrotwood
2. *Podocarpus gracilior* / Fern Pine
 - C. SECONDARY STREET TREES
1. *Lagerstroemia indica* / Crape Myrtle
 - D. CUL-DE-SAC TREE
1. *Arecastrum romanzoffianum* / Queen Palm
- PERIMETER CORNER TREATMENT**
- A. PRIMARY STREET TREE
1. *Arecastrum romanzoffianum* / Queen Palm
 - B. FLOWERING ACCENT TREE
1. *Lagerstroemia indica* / Crape Myrtle

COMMUNITY ENTRANCE

- A. FLOWERING CANOPY TREE
1. *Erythrina cafrina* / Kaffirboom Coral Tree
- B. VERTICAL ACCENT TREE
1. *Arecastrum romanzoffianum* / Queen Palm

PERIMETER EDGE TREATMENT

- A. PRIMARY STREET TREE
1. *Cupaniopsis anacardioides* / Carrotwood
- B. BACKDROP TREE
1. *Melaleuca quinquenervia* / Cajepu! Tree
2. *Tristania conferta* / Brisbane Box

Note: See page 42 for description of plant size

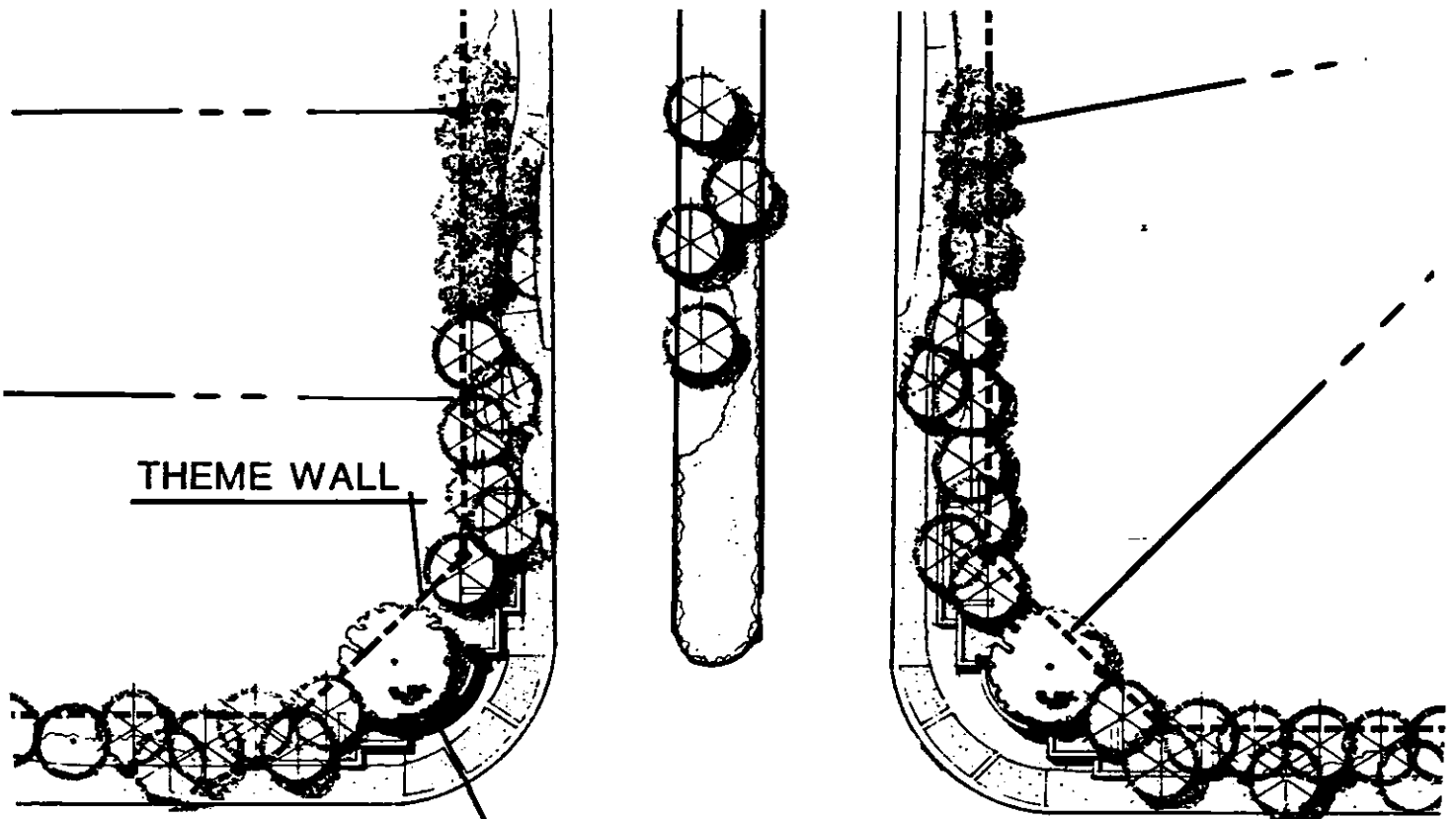
Source:



INTERIOR COLLECTOR TREATMENT

- A. PRIMARY STREET TREE
1. *Arecastrum romanzoffianum* / Queen Palm (Informal Drifts)
- B. FLOWERING ACCENT TREE
1. *Pyrus kawakamii* / Evergreen Pear (Located within Drifts of Queen Palms)
- C. BACKDROP TREES
1. *Melaleuca quinquenervia* / Cajepu! Tree
2. *Tristania conferta* / Brisbane Box





THEME WALL

COMMUNITY ENTRANCE MONUMENTATION

DECORATIVE TERRACED PLANTER WALLS
5' HIGH SIGNAGE WALL WITH GRAPHICS
SPECIMEN TREES, FLOWERING SHRUBS &
GROUND COVERS

COMMUNITY ENTRANCE



A. FLOWERING CANOPY TREE

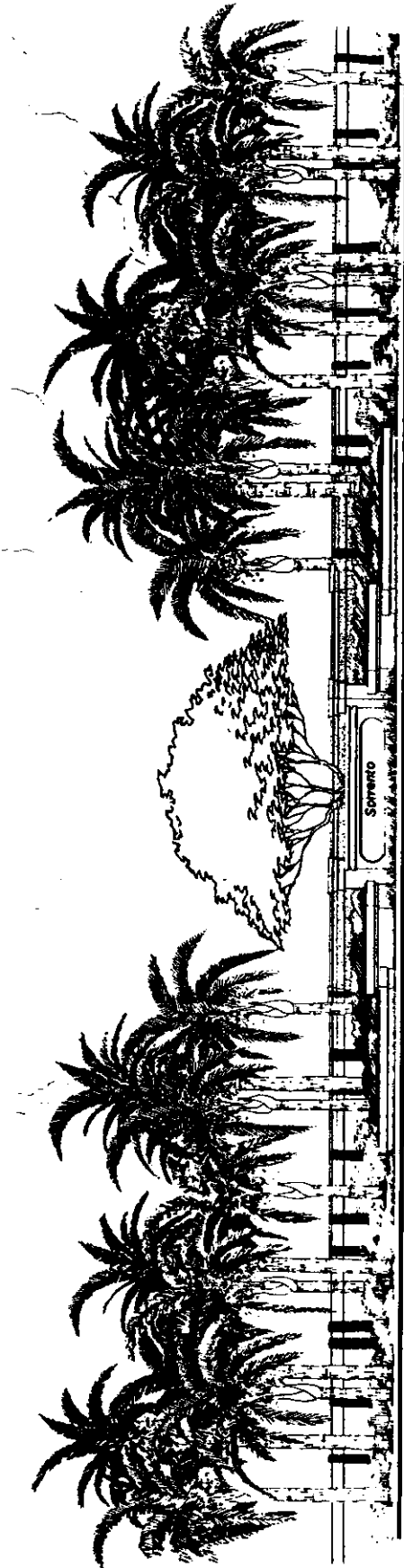
- 1. ERYTHRINA CAFFRA / KAFFIRBOOM CORAL TREE

B. VERTICAL ACCENT TREE

- 1. ARECASTRUM ROMANZOFFIANUM / QUEEN PALM

S O R R E N T O

Cypress Homes, Inc.



NOT TO SCALE

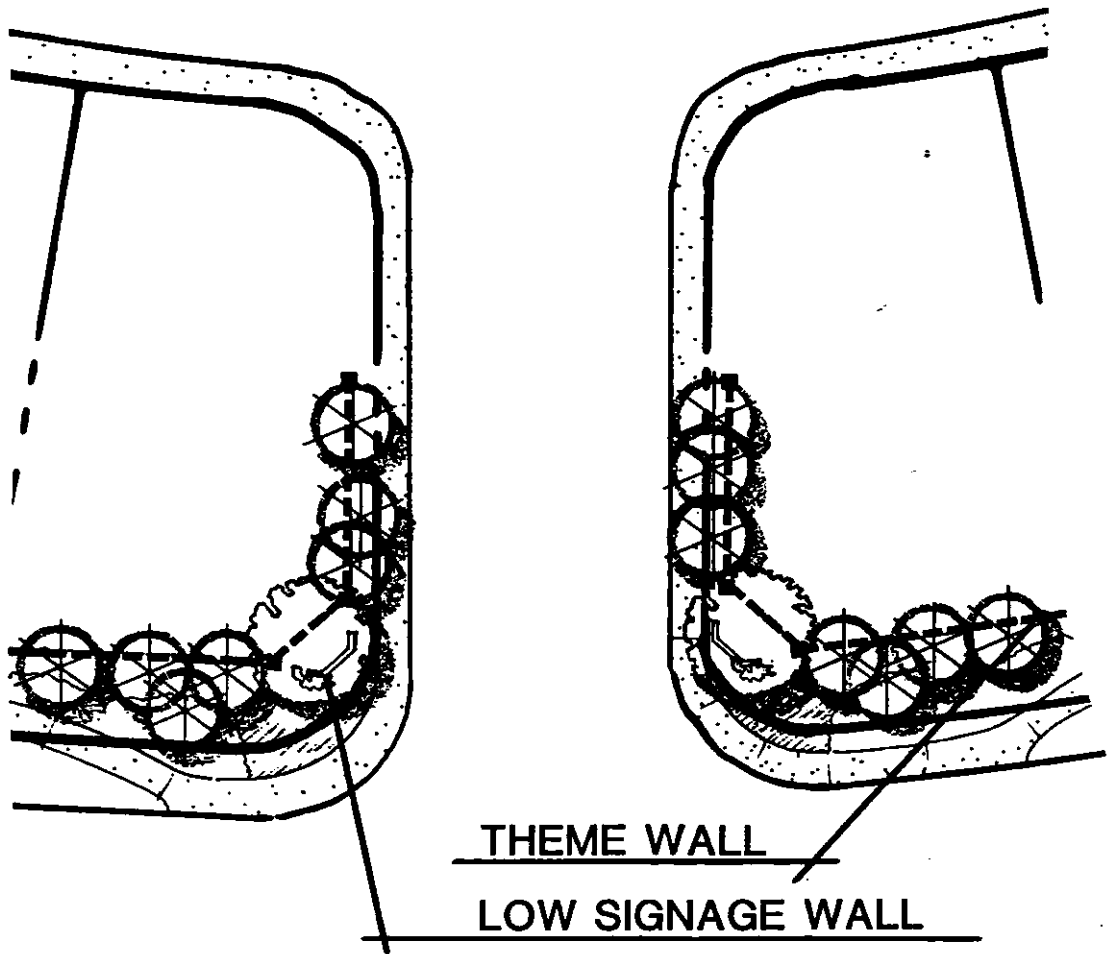
FRANK
RADMACHER
ASSOCIATES, INC.
LOS ANGELES, CALIFORNIA
(213) 834-8724



18845 Yorba Street, Suite 204 • Irvine, CA 92614



Community Entry



NEIGHBORHOOD ENTRIES



A. FEATURE CANOPY TREE

1. *Ficus nitida* / Indian Laurel Fig

B. VERTICAL ACCENT TREE

1. *Arecastrum romanzoffianum* / Queen Palm

Source:



FRANK
RADMACHER
ASSOCIATES, INC.
Landscape Architects



Neighborhood Entry

Exhibit 14

a. Edge/Corner Treatments

Edge/corner treatments shall include the intersections of Denni Street and Ball Road, Ball Road and Moody Street, Moody Street and Orange Avenue (see Exhibit 11, LANDSCAPE PLAN).

- Feature Trees:**
- *Arecastrum romanzoffianum* (Queen Palm)
Arranged in irregular groupings.
 - *Lagerstroemia indica* (Crape Myrtle)
Utilized as flowering accents.

Shrubs and groundcover will emphasize the use of flowering varieties such as Indian Hawthorn, Hebe, Lily of the Nile and Daylily.

b. Perimeter Streetscapes

Typical streetscapes along peripheral arterials consist of primary and backdrop street trees, shrubs and groundcover and a meandering combination pedestrian/bicycle pathway (see Exhibit 15, STREETScape/ PERIPHERAL ARTERIAL (TYPICAL)).

1) Orange Avenue

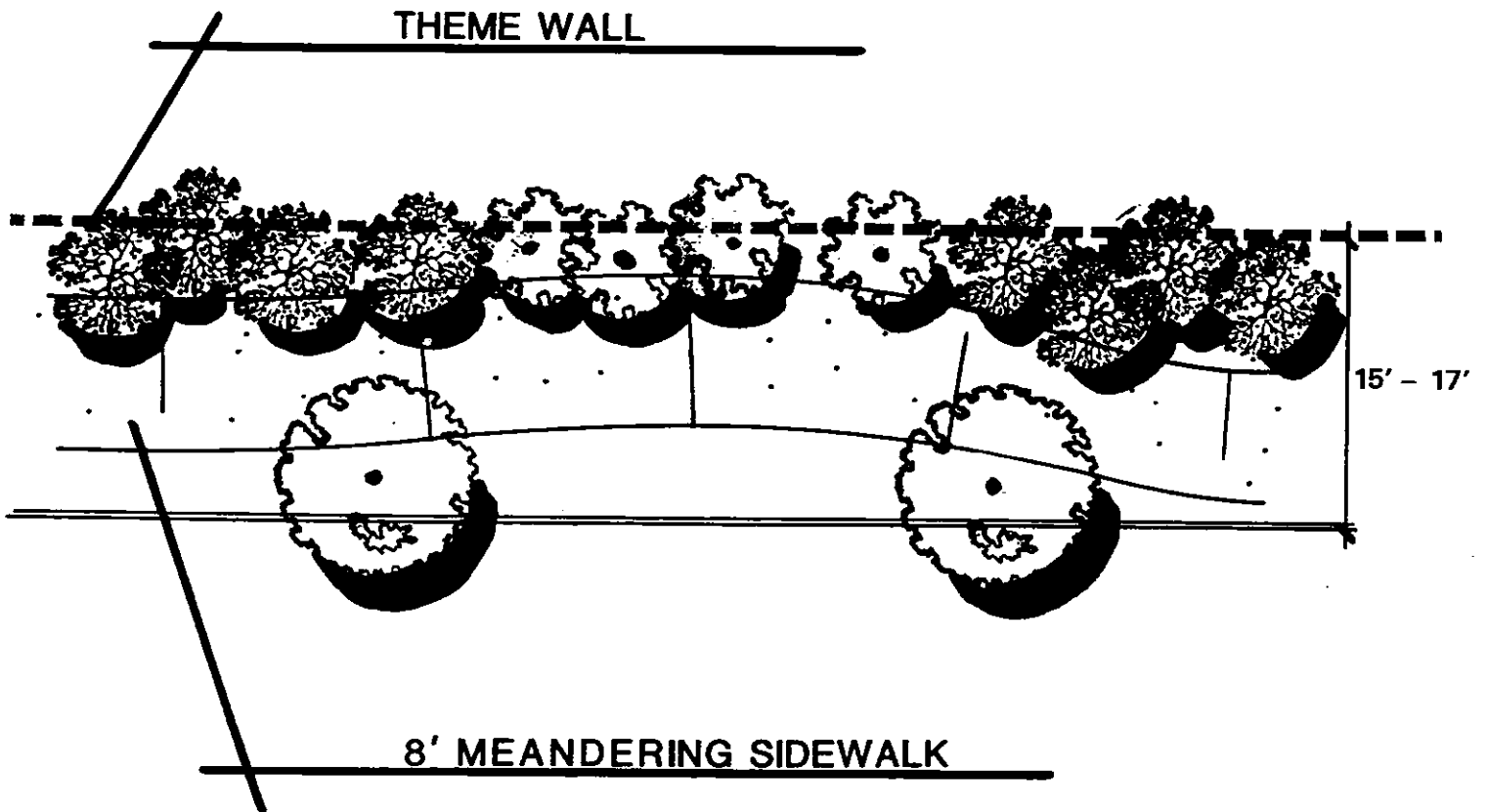
Two edge conditions exist along this arterial: the interface between the road and residential lots, and the interface between the existing drainage channel, road, and adjacent residential lots (see Exhibit 16, STREETScape SECTIONS).

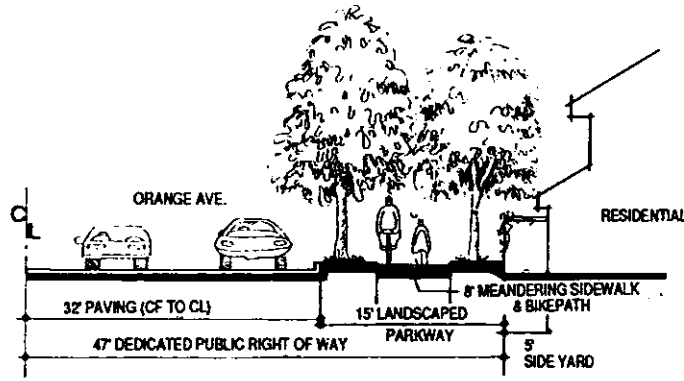
A landscaped parkway fifteen feet (15') wide will be provided adjacent to that portion of the right-of-way with adjacent residential lots. This fifteen foot (15') wide total area will contain informal tree plantings, ground cover, irrigation system and a meandering eight-foot (8') wide combined bikelane and pedestrian walkway. The parkway landscaping at the secondary community entry will widen to include the drainage channel easement.

For that portion of the right-of-way with parallel drainage channel, a sixteen and a half foot (16.5') wide parkway will be provided including an eight foot (8') wide meandering walkway and bikelane, and plant materials including street trees and ground cover.

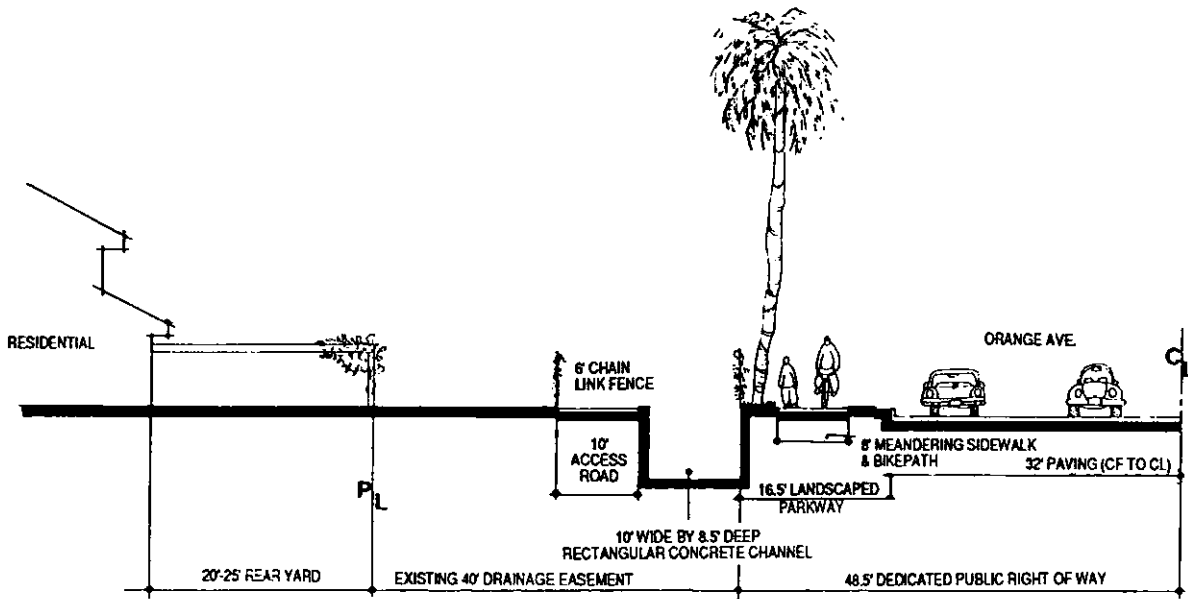
- Feature Trees:**
- *Cupaniopsis anacardioides* (Carrotwood)
Spaced 35-40' apart as a curbside parkway tree.
 - *Melaleuca quinquenervia* (Cajeput tree), and
 - *Tristania conferta* (Brisbane Box)
Spaced randomly in irregular drifts as a backdrop tree.

Shrubs and groundcovers will emphasize the use of flowering varieties, such as Indian Hawthorn, Hebe, Lily of the Nile and Daylily.

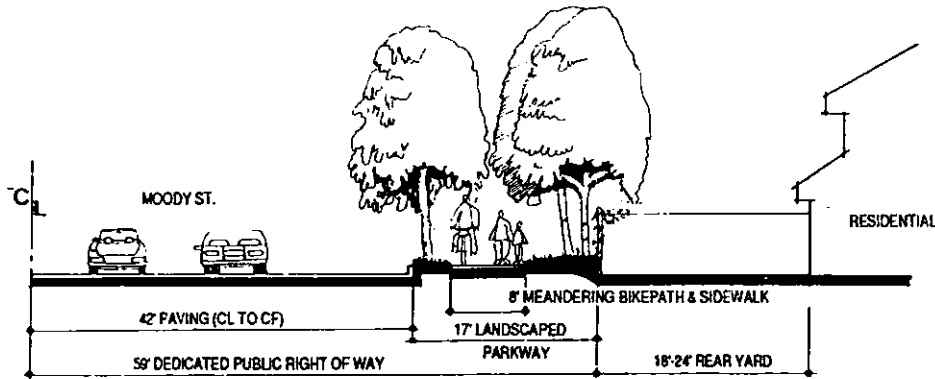




ORANGE AVENUE SECTION A-A



ORANGE AVENUE SECTION B-B @ DRAINAGE CHANNEL



MOODY STREET SECTION C-C

Source:



NOT TO SCALE



2) *Moody Street*

A seventeen foot (17') wide landscaped parkway will be provided including informal street tree plantings, shrubbery, ground cover, an eight foot (8') wide meandering sidewalk and bikepath and irrigation system (see Exhibit 16, STREETScape SECTIONS). Plant materials are the same as for Orange Avenue.

3) *Ball Road*

The edge conditions along Ball Road include single family detached residential units and a community park located at the corner of Ball Road and Denni Street (see Exhibit 17, STREETScape SECTIONS). The streetscape treatment along the residential frontage will include a seventeen foot (17') landscaped parkway including informal street tree plantings, shrubbery, ground cover and a meandering eight foot (8') combined walkway and bike path. The park area will include pedestrian pathways and landscaping. Plant materials are the same as along Orange Avenue.

4) *Denni Street*

The two edge conditions occurring along Denni Street are the community park and the drainage channel with adjacent residential lots (see Exhibit 17, STREETScape SECTIONS). Edge conditions are similar to those along Ball Road and Orange Avenue. The existing street trees and eight foot (8') wide meandering bikepath and sidewalk will be retained and augmented by additional street trees, shrubbery, ground cover and irrigation system. The parkway landscaping at the secondary community entry will widen to include the drainage easement.

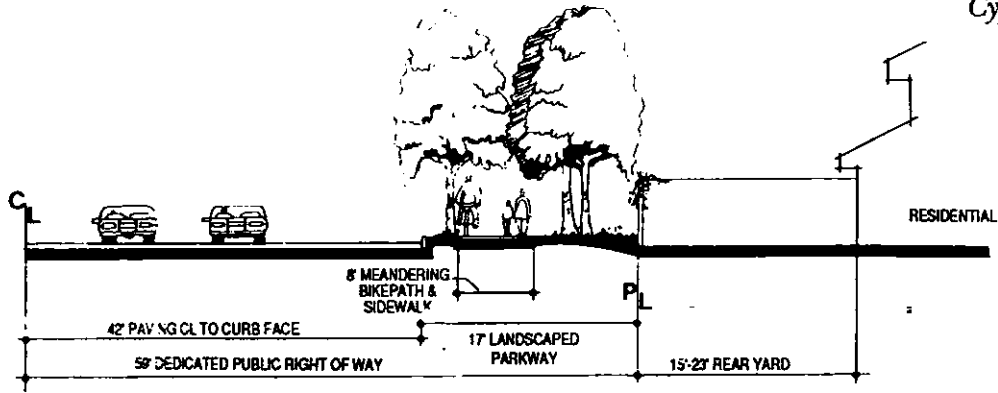
5) *Internal Collector*

The streetscape treatment will consist of a fourteen foot (14') wide landscaped parkway area on both sides of the Internal Collector (see Exhibits 17 and 18, STREETScape SECTIONS and STREETScape/ INTERNAL COLLECTOR). Streetscape within this area includes informal tree plantings, ground cover, irrigation system, shrubbery, berms and a five foot (5') wide meandering sidewalk.

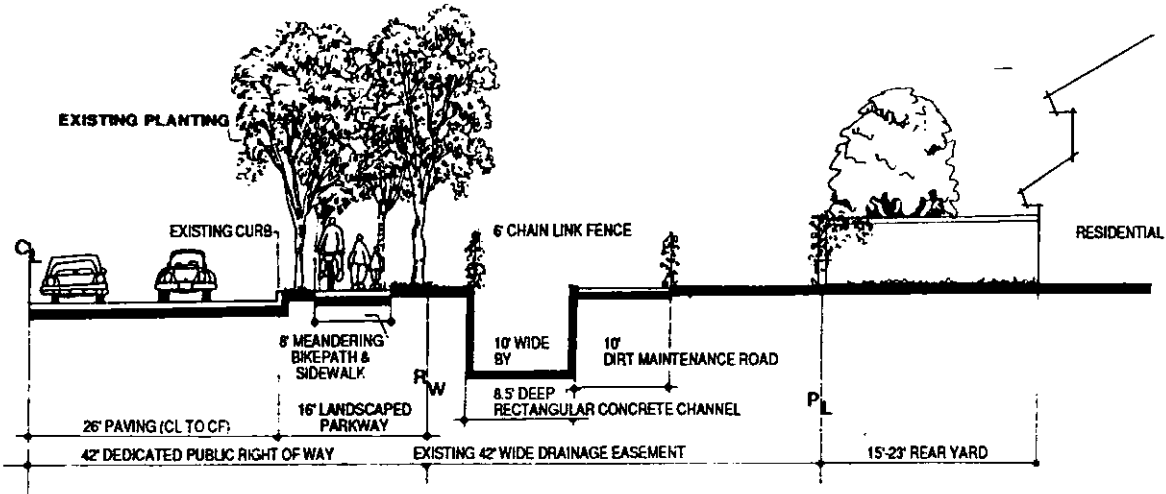
Feature Trees:

- *Arecastrum romanzoffianum* (Queen Palm)
Planted in informal drifts.
- *Pyrus kawakamii* (Evergreen Pear)
Utilized as flowering accent trees within the Queen Palms.
- *Melaleuca quinquenervia* (Cajeput tree), and
- *Tristania conferta* (Brisbane Box)
Grouped in grove patterns as backdrop trees.

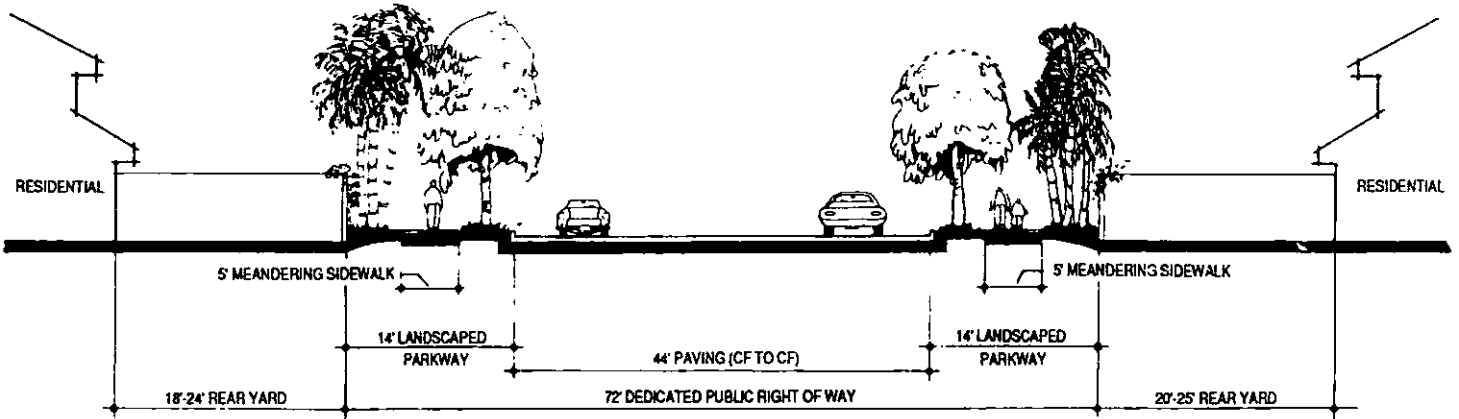
Shrubs and groundcovers will emphasize the use of flowering varieties, such as Indian Hawthorn, Hebe, Daylily and Lily of the Nile.



BALL ROAD SECTION D-D



DENNI STREET SECTION E-E @ DRAINAGE CHANNEL

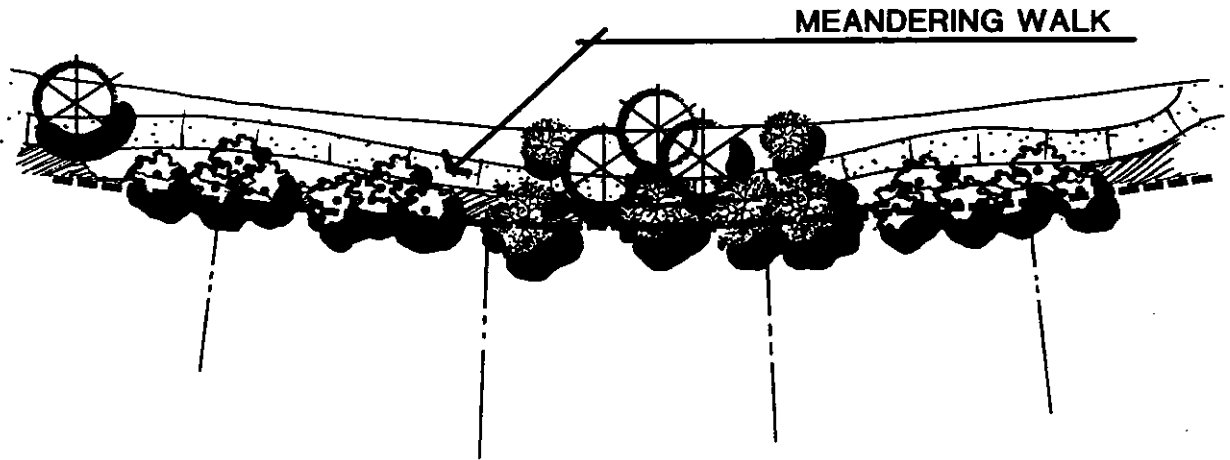
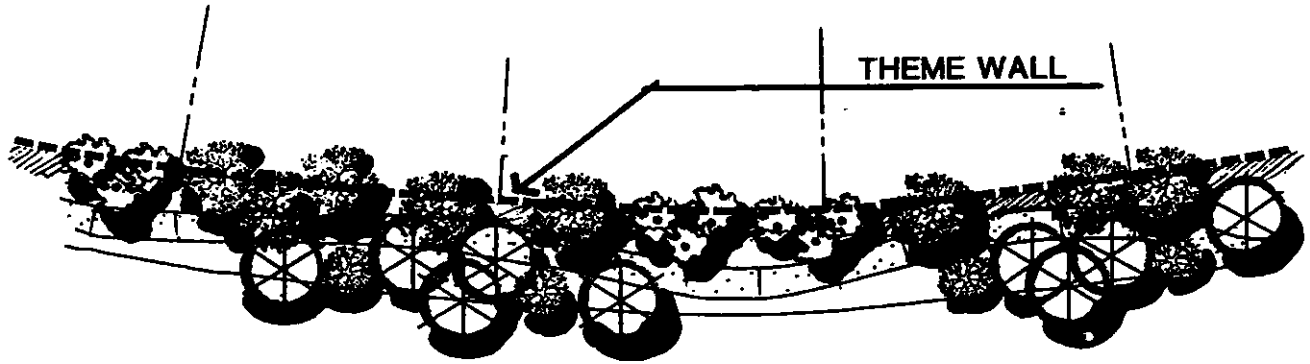


INTERNAL COLLECTOR SECTION F-F

Source:



NOT TO SCALE



A. PRIMARY STREET TREE

1. *Arecastrum romanzoffianum* / Queen Palm
(informal drifts)



B. FLOWERING ACCENT TREE

1. *Pyrus kawakamii* / Evergreen Pear
(located within drifts of Queen Palms)



C. BACKDROP TREES

1. *Melaleuca quinquenervia* / Cajeput Tree
2. *Tristania conferta* / Brisbane Box



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Landscape Architects

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Streetscape
Internal Collector

Exhibit 18

6) Local Streets

Streetscape treatment will consist of five foot (5') sidewalks with a six foot (6') public utility, sidewalk and street tree easement adjacent to the sidewalk (see Exhibit 19, STREETSCAPE SECTIONS). One (1) street tree will be provided per lot to be located within the public utility, sidewalk and street tree easement. Homeowner landscaping will augment the street trees. Plant materials for residential streetscapes will vary by product type.

a) SFD-6000 Streetscape

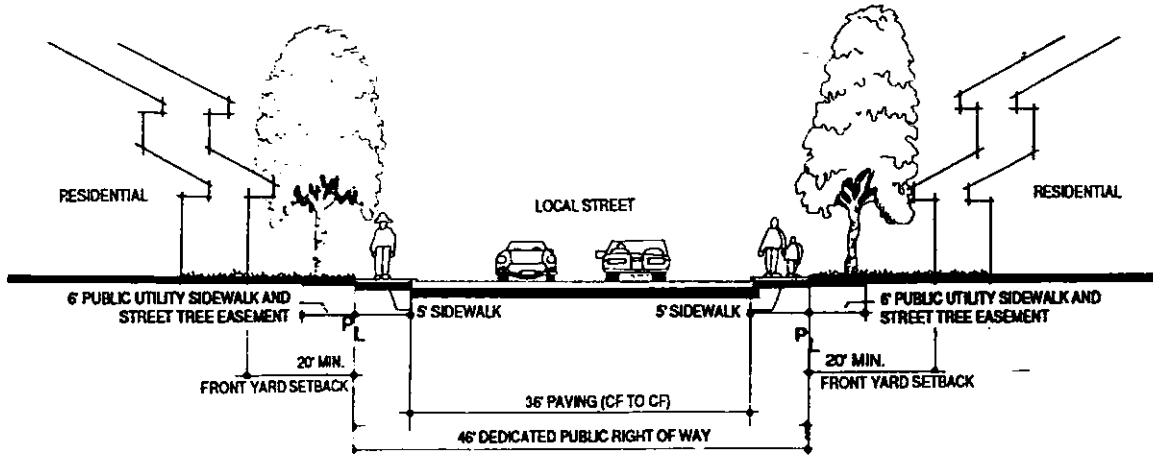
- | | |
|-------------------------------|---|
| Primary Street Tree: | •Cupaniopsis anacardioides (Carrotwood) |
| Secondary Street Tree: | •Bauhinia variegata (Purple Orchid Tree)
•Lagerstroemia indica (Crape Myrtle)
•Pyrus kawakamii (Evergreen Pear) |
| Cul-de-sac Tree: | •Arecastrum romanzoffianum (Queen Palm) |

b) SFD-5000 Streetscape

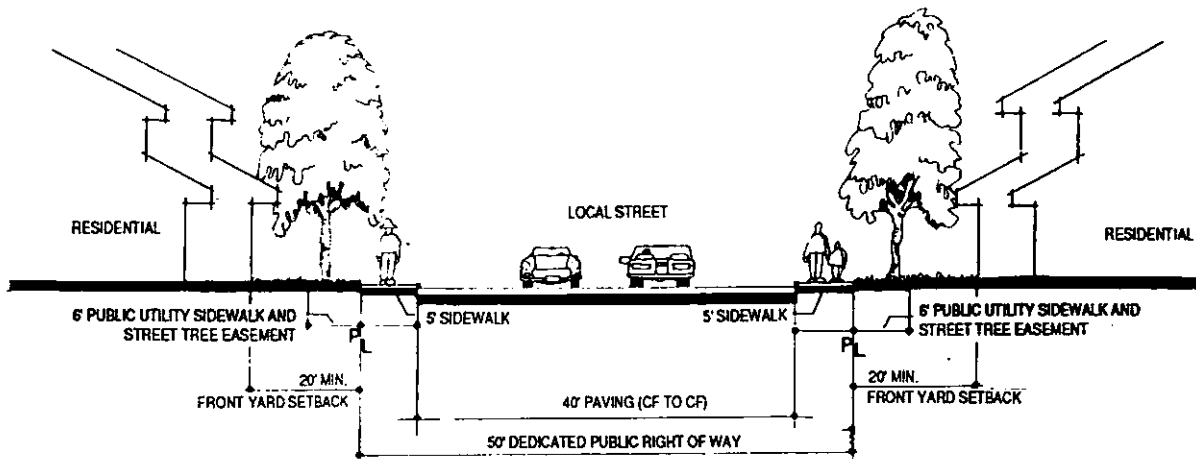
- | | |
|-------------------------------|--|
| Primary Street Tree: | •Cupaniopsis anacardioides (Carrotwood)
•Podocarpus gracilior (Fern Pine) |
| Secondary Street Tree: | •Lagerstroemia indica (Crape Myrtle) |
| Cul-de-sac Tree: | •Arecastrum romanzoffianum (Queen Palm) |

3. Theme Wall Treatments

Theme walls and columns will be located on the perimeter of the development, contiguous to the Internal Collector, along neighborhood entries and residential walls along local streets (see Exhibits 20 and 21, WALL PLAN and THEME WALLS). Wall construction will consist of reinforced masonry block covered with a stucco color coat to complement the houses. The masonry blocks will be offset at the cap to provide visual interest and shadowlines. The community entry walls will also consist of stucco/masonry construction and will feature varying interlocking wall heights to provide opportunities for planting and signage. Sign lighting will further enrich the entry areas.



LOCAL STREET CUL DE SAC SECTION H-H



LOCAL STREET SECTION G-G

Source:



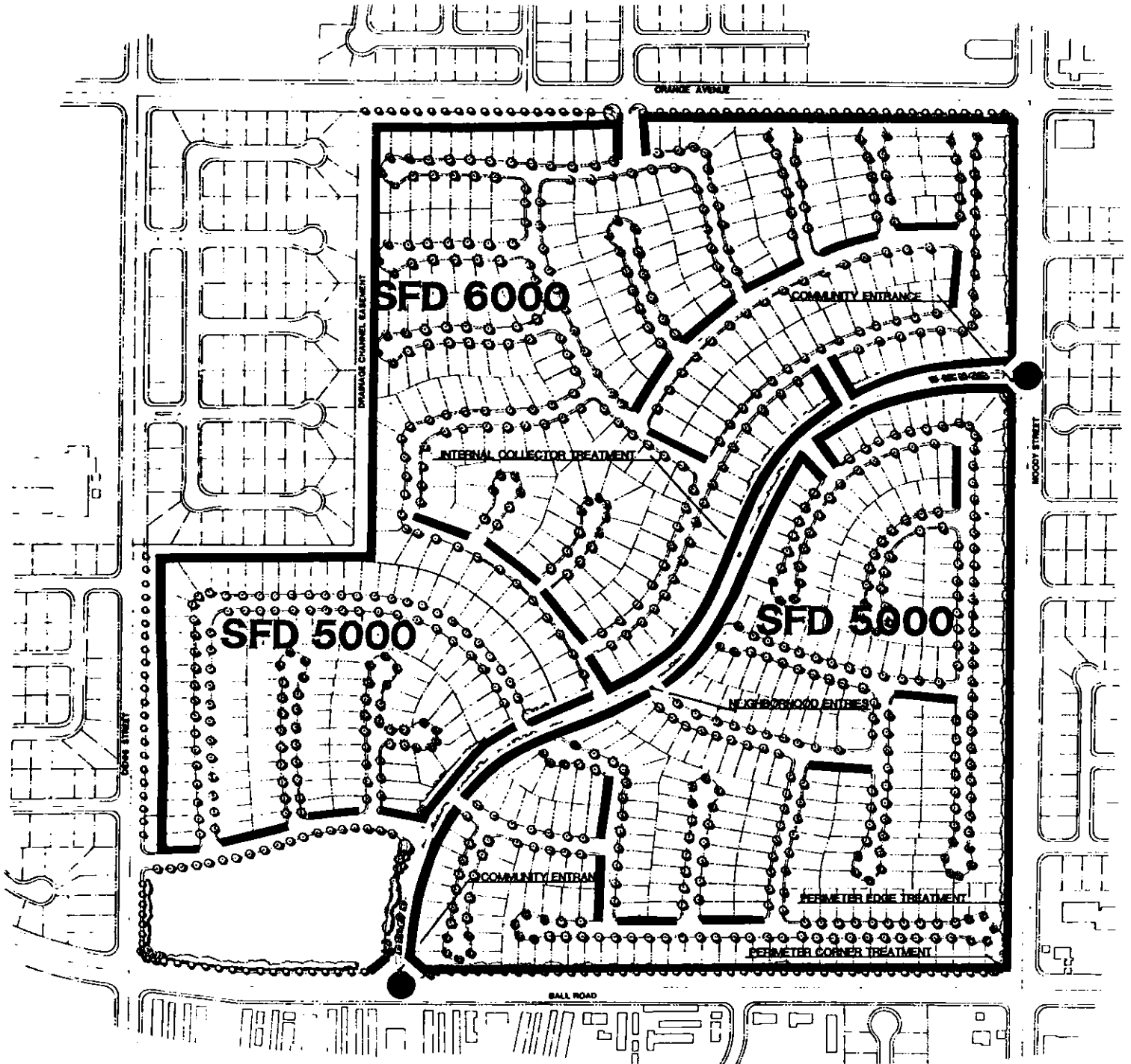
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Streetscape Sections

Exhibit 10

S O R R E N T O

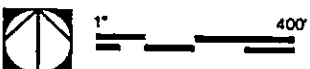
Cypress Homes, Inc.



● Primary Project Entry

▨ Theme Walls

Source:

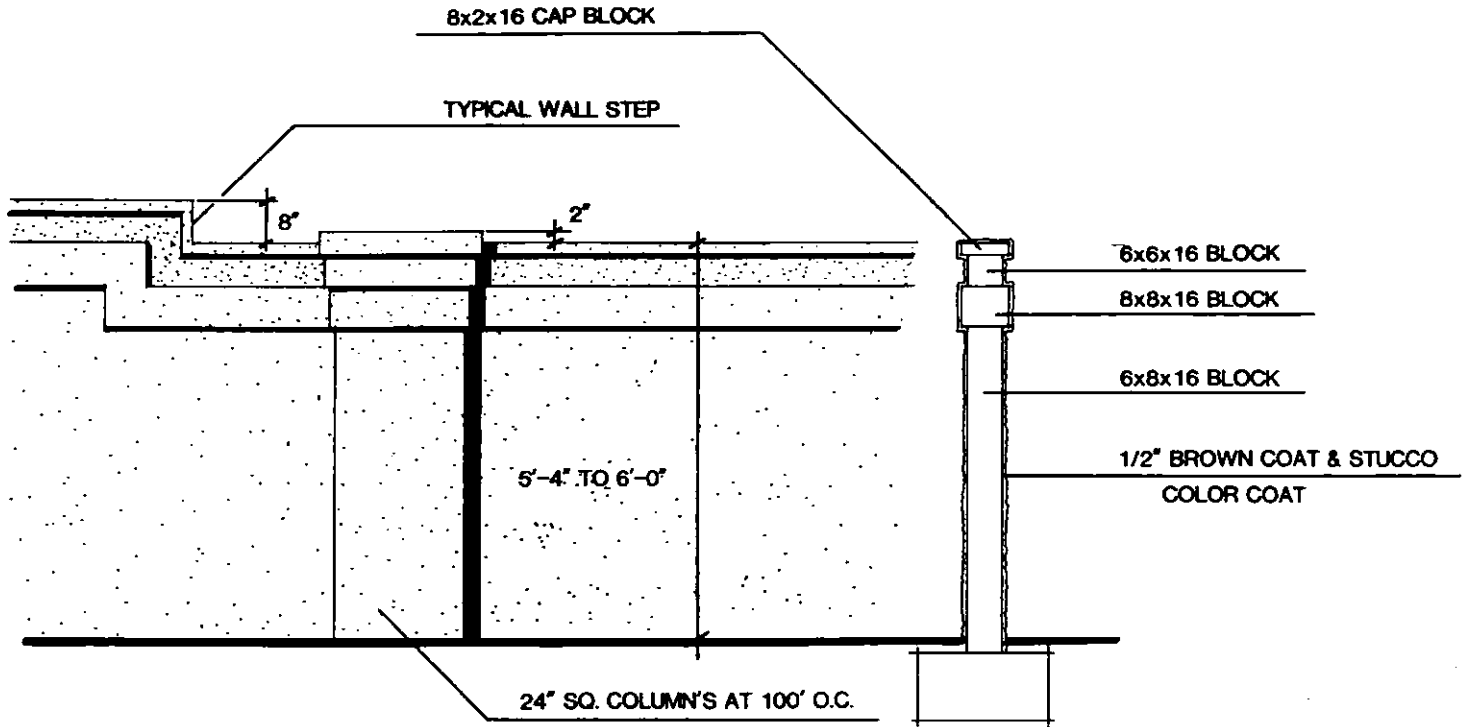


Wall Plan

Exhibit 20

S O R R E N T O

Cypress Homes, Inc.



NOT TO SCALE



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ASSOCIATES, INC.
LANDSCAPE ARCHITECTS

17141 833-1774
14841 Yorba Street, Suite 206 • Tustin, CA 92680



Theme Walls

Exhibit 21

G. DRAINAGE PLAN

A system of subsurface storm drains will be installed to accommodate storm runoff and convey it to the southwest corner of the site. This system is planned to connect with the drainage channel and Cypress retarding basin adjacent to the site via an 82-inch reinforced concrete pipe (RCP) (see Exhibit 22, DRAINAGE PLAN).

In the past, this site has not been included in any of the City's master plan of drainage concepts as contributing runoff from any rainstorm. It was assumed that the existing tank farm would always remain, acting as a large retarding basin capable of containing the runoff from any storm.

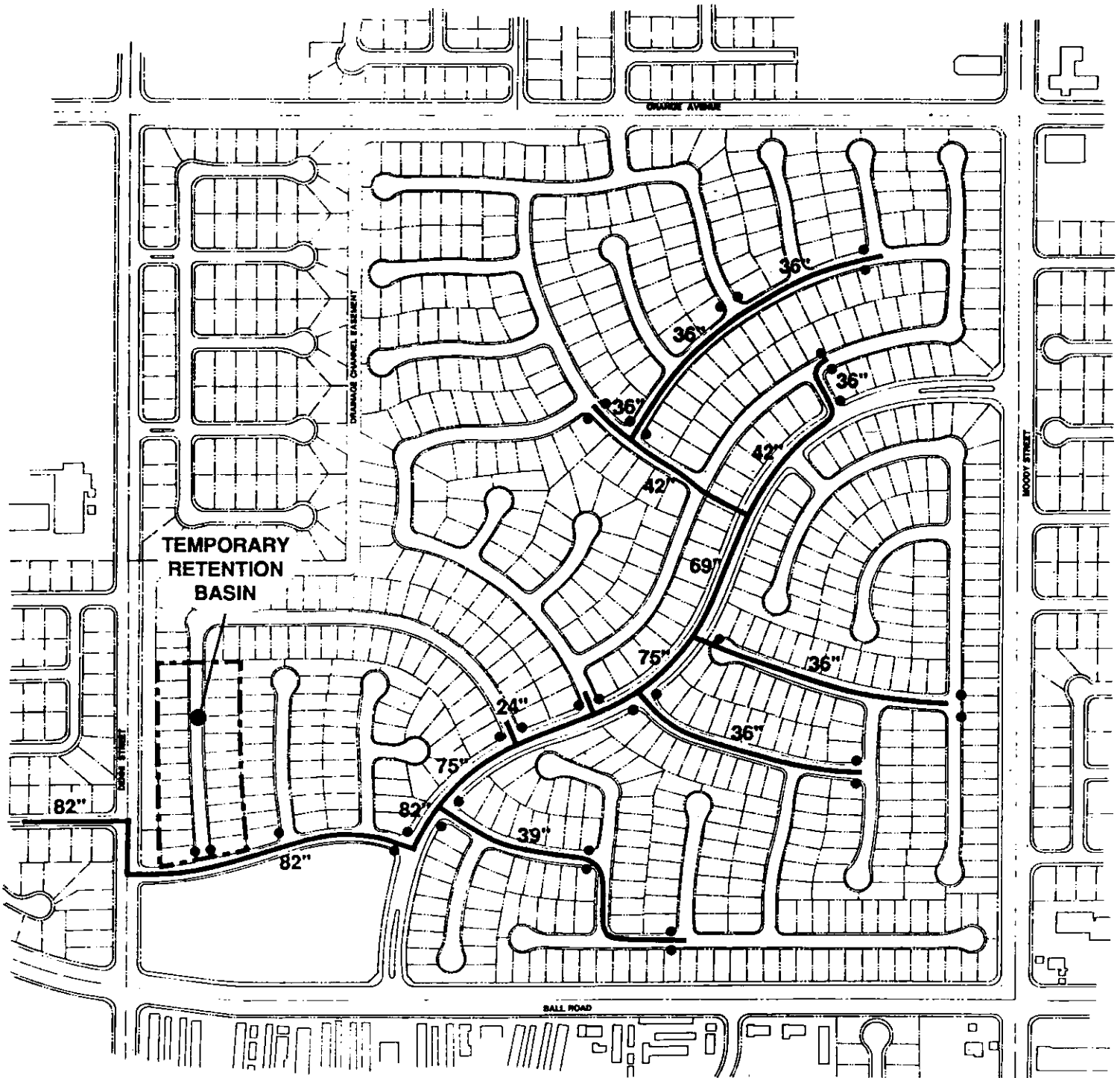
When the site is developed, it shall drain through a combination of a storm drain system and surface runoff to the Cypress Retarding Basin/Pump Station (OCFCF B01B05) located north of Ball Road and west of Via Linda Street. This facility is currently undersized based on the latest hydrology study adopted by the County of Orange and does not take into account any runoff from the Project.



The permanent, proposed, gravity flow storm drain will be constructed from the site to the Cypress Retarding Basin/Pump Station, but the flow will be restricted to a level such that it will not contribute to the overloading of the existing County facility. The developer shall construct a temporary retarding basin on-site that will provide protection from flooding during a 100-year storm. The temporary retarding basin onsite shall be designed in accordance with City requirements, shall be maintained by the developer, or at the developer's sole expense, and shall remain for a maximum period of five (5) years from initial construction, until the County of Orange completes a hydrology study and subsequently upgrades its Cypress Retarding Basin/Pump Station.

If the County of Orange determines from its hydrology study that permanent drainage from the project site into the Cypress Retarding Basin/Pump Station will not be allowed, or if the County of Orange requires a permanent, offsite retarding basin to control any project flows into the Cypress Retarding Basin/Pump Station, the Developer shall design and construct alternative, permanent drainage facilities. The preliminary engineering design of these alternative permanent facilities to the Cypress Retarding Basin/Pump Station upgrade shall be submitted prior to submittal to the City of the tentative tract map.

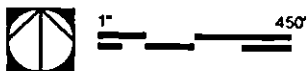
If a decision to upgrade the Cypress Retarding Basin/Pump Station to receive discharge from the project site is made by the County of Orange, but such upgrade is not completed within five (5) years from construction of the subject project's temporary retarding basin, the approved, alternative, permanent facilities shall be constructed by the developer and offered for dedication, as discussed below.

If upgrading of the Cypress Regarding Basin/Pump Station is determined by the County of Orange to be infeasible and, thus, alternative facilities be required, the developer shall design and construct such alternative facilities to the complete satisfaction of the City Engineer. Said facilities shall be offered for dedication to the City upon completion by the developer and acceptance by the City as having been satisfactorily constructed.



-  Catch Basins
-  R.C.P. Storm Drain

Source:



The entire estimated cost of upgrading the Cypress Retarding Basin/Pump Station facilities or constructing approved alternative, permanent facilities (whichever is greater), and the cost of removal of the temporary basin, shall be met by a cash bond or irrevocable letter of credit posted by the developer, in a form satisfactory to the City Attorney, to insure that permanent drainage facilities are constructed before the end of the five (5) year period. Said bond or letter shall be submitted prior to recording of the final tract map.

When the retarding basin onsite is eliminated, pads and homes will be constructed. Cooperative funding for the Cypress Retarding Basin/Pump Station upgrade is currently being considered. A joint project between the City, County and the developer is being investigated using redevelopment monies along with waiving of City drainage fees, with the developer contributing funds to the upgrade. The possibility of cooperative funding and a joint project to construct the required drainage improvements in no way reduces or removes the developer's responsibility to construct the necessary improvements and pay the statutory City drainage acreage fees should such cooperative efforts not be achieved.

*Development
Regulations*

S O R R E N T O

Cypress Homes, Inc.

III. DEVELOPMENT REGULATIONS

A. PURPOSE AND INTENT

These regulations are intended to function as the development code for the planning areas of the Sorrento Specific Plan. They will act to coordinate the planning and development of the Sorrento residential community.

Uses in the Specific Plan area will conform to the development standards, conditions and restrictions detailed in this section. These regulations are intended to supplement the Cypress Zoning Ordinance; uses not addressed in the Development Regulations of the Specific Plan will conform to the applicable City standards from the zone which most closely fits the assigned use of the site.

The land uses occurring in the Sorrento Specific Plan area include single family detached dwellings of two different sizes (6,000, and 5,000 square foot lots, minimum) and a community park, as described by the provisions below. All uses not specifically listed are prohibited unless determined by the Planning Agency to be either permitted or conditional uses which comply with the objectives of this Specific Plan and the purposes of the residential zone. Development regulations for these areas will be discussed by area and product type.

B. GENERAL PROVISIONS

Residential—Single Family Detached (SFD)

The land designated for SFD residential use is designated for a total of 667 units. Target net densities range from 4.9 to 6.2 dwelling units per net residential acre and are arranged to maximize compatibility with adjacent neighborhoods and other land uses.

1. Permitted and Conditional Uses

a. Permitted Uses

- 1) Detached single family dwellings
- 2) Home occupations subject to provisions of Section 13.2 of the Cypress Zoning Ordinance

b. Permitted Temporary Uses

- 1) Model home and subdivision sales, subject to site plan review
- 2) Temporary on-site construction facilities

- 3) Temporary subdivision sales signage in accordance with City of Cypress ordinances
- 4) Temporary flood control facilities

c. Conditional Uses

- 1) Guest dwellings or accessory living quarters to a single family dwelling

2. Property Development Standards

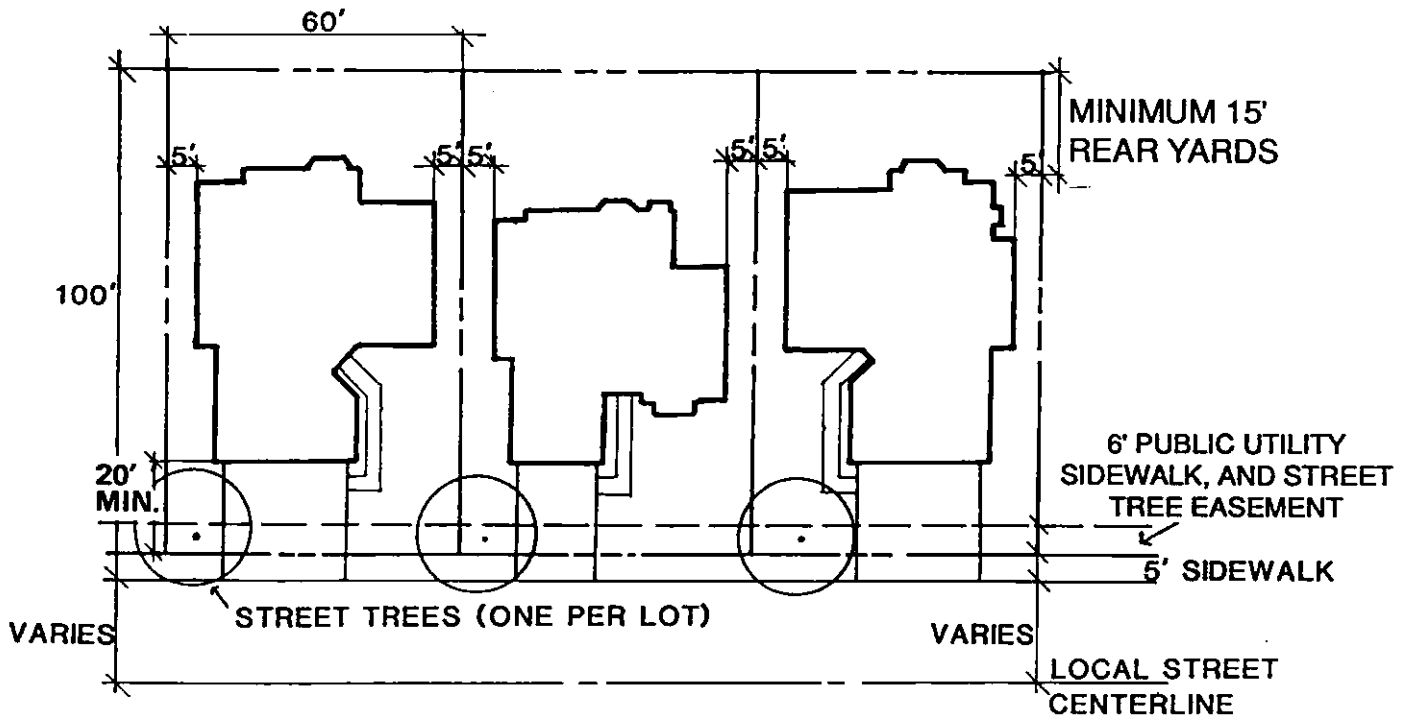
*a. General Requirements**

- 1) SFD-6000 (see Exhibit 23, ILLUSTRATIVE PLOT PLAN)
 - a) Maximum density: 5 dwelling units per net acre
 - b) Minimum lot area: 6,000 square feet
 - c) Lot Width: 60 feet ⁽¹⁾
 - d) Frontage width, knuckles and cul-de-sacs: 20 feet
 - e) Lot depth: 100 ⁽²⁾
 - f) Required building setbacks:
 - i.) Front yard at local street: 20 feet ⁽³⁾
 - ii.) Garage at local street: 20 feet
 - iii.) Side yard abutting local street, private drive or arterial landscaped setback area: 10 feet
 - iv.) Side yard: 5 feet
 - v.) Rear yard: 15 feet
 - g) Maximum structural lot coverage: 40%
 - h) Maximum building height, including chimneys, antennas and roof mounted equipment (refer to Performance Standard 1): 35 feet
 - i) Distance between buildings: 10 feet

NOTES:

* All figures are minimum requirements unless stated otherwise

- (1) Minimum lot width is measured where the house width plus side yards is equal to the minimum lot width.
- (2) Dimension is the average lot depth.
- (3) Measured from back of sidewalk or back of curb if there is no sidewalk.



SFD 6000

Source:



NOT TO SCALE



Illustrative Plot Plan

Exhibit 22

2. SFD-5000 (see Exhibit 24, ILLUSTRATIVE PLOT PLAN)

- a) Maximum density: 6.2 dwelling units per net acre
- b) Minimum lot area: 5,000 square feet
- c) Lot Width: 50 feet ⁽¹⁾
- d) Frontage width, knuckles and cul-de-sacs: 20 feet
- e) Lot depth: 100 feet ⁽²⁾
- f) Required building setbacks:
 - i.) Front yard at local street: 20 feet ⁽³⁾
 - ii.) Garage at local street: 20 feet
 - iii.) Side yard abutting local street, private drive or arterial landscaped setback area: 10 feet
 - iv.) Side yard: 5 feet
 - v.) Rear yard: 15 feet
- g) Maximum structural lot coverage: 40%
- h) Maximum building height, including chimneys, antennas and roof mounted equipment: 35 feet
- i) Distance between buildings: 10 feet

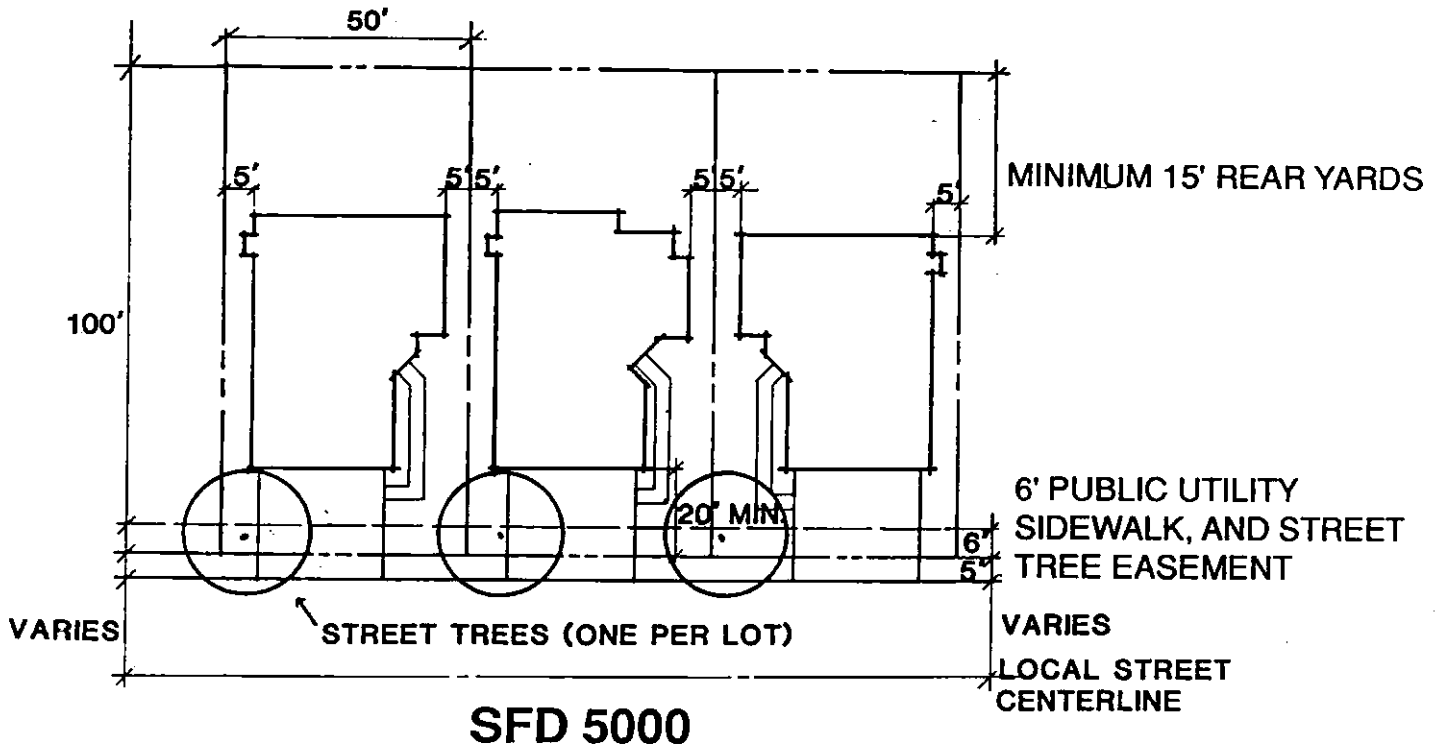
b. Parking Requirements

- 1) Minimum number of off-street parking spaces: 2 garage spaces per unit.
- 2) On-street parking will be permitted on local streets where traffic conditions allow.
- 3) All Primary and Secondary Arterial and Internal Collector on-street parking shall be prohibited and "No Parking Anytime" or "No Stopping Anytime" signs shall be posted on these streets.

c. Special Requirements

- 1) Additions or alterations of the original single family detached home within the Sorrento Specific Plan area shall be constructed to be compatible with the original architectural style and shall not exceed the height of the original structure.
- 2) Architectural Review of the front and rear elevations of each residential type shall be required prior to issuance of building permits in order to ensure adequate architectural detailing on sides visible from local and arterial streets.
- 3) Sidewalks shall be five feet (5') wide from curb face to back of walk except where there are obstructions such as street lights, fire hydrants, or other utilities at the back of curb. At that point the sidewalk shall be widened to allow a 48" clearance

TYPICAL ILLUSTRATIVE PLOT PLAN



Source:



NOT TO SCALE

Illustrative Plot Plan

Exhibit 24

around the obstruction. In addition to the 5' sidewalk there shall be a six foot (6') utility, street tree, and sidewalk easement within the property line, and adjacent to the walk.

d. Performance Standards

- 1) **Mechanical equipment:** all equipment, with the exception of solar collector panels and associated plumbing, shall be located within the rear yard or side street yard of a corner lot. Equipment shall be screened from view from surrounding communities and streets. Noise levels from equipment shall be in conformance with the City's Noise Ordinance. Solar collector panels and associated plumbing may be surface mounted on roofs in public view provided that associated plumbing shall be painted to be compatible with roof colors.
- 2) In all residential areas, required front and street side yards shall be landscaped and shall consist predominantly of plant materials except for allowable walks, drives and fences. Said required front and street side yard landscaped areas shall not be used for the parking or storage of any motor vehicle or vehicle accessory such as camper shells, trailers, motor bikes or other wheeled accessory or convenience, except that fully operable licensed motor vehicles including travel trailers, utility trailers and boats on trailers may be parked upon the required paved driveway access to the garage structure. However, no more than one (1) paved driveway shall be allowed per residence.
- 3) All required landscaping shall be maintained in a neat and healthy condition.
- 4) Permanently constructed non-portable swimming pools and spas shall maintain a minimum four foot (4') setback from the interior side lot line, rear lot line and main or accessory structure, but meet the setback requirements of the main building for front and street side yard setbacks. All swimming pools, spas and hot tubs whether permanently constructed or portable, shall be enclosed by a minimum five foot (5') high non-climbable fence with self-closing and locking gate.

e. Walls and Fences

- 1) Walls and fences in required front yards shall not exceed three feet (3') in height.

- 2) A wall or fence not more than seven feet (7') in height as measured from the highest adjacent grade may be maintained along the side or rear property line, and such walls and fences shall not extend into the required front yard setback.
- 3) Barbed wire, electrical fences, glass and other similar objects on the top of walls and fences shall not be permitted.

Parks and Open Space

a. General Requirements

- 1) The park will consist of approximately 6.3 acres of land dedicated as a community park.
- 2) The park size shall be that area measured within the boundaries delineated by the back edges of the perimeter sidewalks surrounding the park.
- 3) The maintenance of landscaped parkway areas along perimeter arterials and the Internal Collector shall be the responsibility of a district for landscape maintenance. Maintenance responsibilities will include sidewalks, bikepaths, plantings and irrigation systems located between the roadway curbs and residential property lines.
- 4) Shrub plantings and signs shall be limited in height approaching project intersections to maintain visibility.
- 5) Street tree plantings shall be planted at minimum sizes of 60% 15 gallon and 40% 24-inch box. Accent trees at major project entries shall be 48-inch box size.
- 6) Slope ratios of earthen berms in dedicated public rights-of-way shall be no greater than 3:1. The adequacy of any berm is to be determined through Design Review.

Design Guidelines

S O R R E N T O

Cypress Homes, Inc.

IV. DESIGN GUIDELINES

These Specific Plan Guidelines are statements which articulate the intended character of the Sorrento Specific Plan area. The intention is to establish design criteria which will ensure a consistently high standard of appearance, ensure compatibility with surrounding neighborhoods, direct character and form and enhance the overall quality of the community.

The purpose of the guidelines is to provide policy guidance to developers, builders, design professionals and planning professionals in order to maintain design continuity and compatibility with surrounding areas throughout all phases of development.

The design guidelines provide criteria pertaining to Architecture, Landscape and Parks and Open Space.

A. ARCHITECTURAL DESIGN

1. Design Theme

The architectural concept for the Sorrento community is based on the premise of single family homes reflecting a "Mediterranean" design theme compatible with surrounding neighborhoods. Emphasis is placed on design details such as tile roofs, planar wall surfaces, smooth and textured wall surfaces with varied fenestration and light wall colors. Landscaping will reinforce the architectural theme through the creation of appropriate color, form and spatial relationships.

A variety of homes will be offered to provide a wide range of choice for prospective residents. These products consist of large single family detached homes appealing to differing household needs.

2. Residential Character

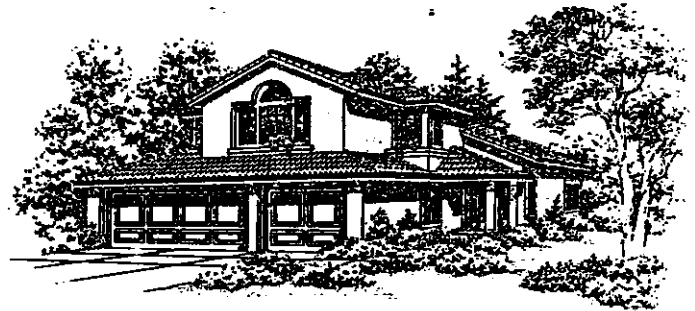
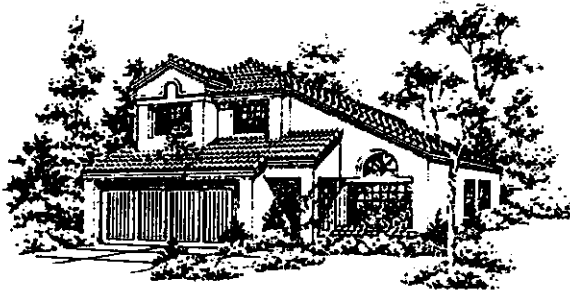
Two types of housing products will be offered (see Exhibits 25 and 26, RESIDENTIAL CHARACTER). The floor plan, roof shape and massing variations, and variable setbacks will provide architectural variety and interest. Building bulk will be minimized through articulation of mass with second story setbacks, articulated details on roofs and building elevations and other design methods.

Second story building elements shall be varied to prohibit a sequence of two-story opposing elements. Architectural style will allow for individual expression within a general palette of traditional forms and materials, including hip and gable roofs, wall textures and judicious size and placement of windows.

Suggested site planning criteria include the use of varying unit setbacks, staggered unit plans and a maximum of two adjacent identical units.

S O R R E N T O

Cypress Homes, Inc.



SFD 5000

These homes will be on minimum 5,000 sq. ft. lots. A variety of floorplans will be offered, including three and four bedroom in two-story configurations with two or three car garages. Second story building walls will be set back to articulate building massing and roof shapes will be varied to afford architectural variety and interest.



Source:

 John L. Chapman
LAND PLANNING



Residential Character

Exhibit 25

S O R R E N T O

Cypress Homes, Inc.



SFD 6000

These homes will be on minimum 6,000 sq. ft. lots. A variety of plans will be available with two or three-car garages. Building siting, form and massing will emphasize front yards, second story building wall setbacks and articulated roof shapes to provide visual interest.



Source:



Residential Character

Exhibit 26

3. Materials and Colors

Exterior materials and color should provide a coordinated palette appropriate to the Mediterranean theme and residential character of Sorrento. Individual choice and flexibility of design expression should be accommodated within a general palette. Private walls and fences should convey an appearance harmonious with the architectural concept.

Appropriate exterior building materials include stucco with smooth sand finish, masonry or wood accents and concrete tile roofs. Accents should relate to the architectural form of the building. Exposed wood trim will be smooth painted or resawn and stained as appropriate to the design of each elevation. Windows will be aluminum and will be both bronzed or white in color consistent with the building design.

Color and architecture combine to communicate the Mediterranean theme; exterior colors should support the design concept. Wall colors should be compatible with exterior materials, roof color and accents. Colors will be selected from a mediterranean and early California palette, including "off" whites, light beiges and other warm tones (bright pinks and peaches will not be permitted). Trim color will be selected from a palette that contains white, light natural wood tones and other colors fitting the Mediterranean flavor. Roof colors will be from a broad range of natural colors such as Terra Cotta and Mission Adobe (a blended light brown). The approved project color scheme shall be enforced in perpetuity through incorporation into the Sorrento Community CC & Rs.

B. SITE FURNISHINGS

1. Signage

The signage for the Sorrento community is intended to communicate the hierarchy of entries into the neighborhood and be in conformity with relevant City ordinances. Community entry signage will occur at primary entries as shown in Exhibits 11, 12 and 13 (LANDSCAPE PLAN and COMMUNITY ENTRY). All signs must be approved by the Planning Director prior to installation.

2. Lighting

The Sorrento community lighting program shall provide adequate illumination for the safety of area residents. Illumination shall be developed for the major internal collector, major and minor entries (including trees and signage), local streets and pedestrian pathways. Lighting levels will be consistent with the standards set by the City. Indirect lighting shall be used to illuminate signage in community entries. Lighting in areas associated with the community park shall be downward facing and non-glare to avoid conflicts with adjacent neighborhoods as appropriate to the type of event being illuminated in the park.

3. Walls

Community theme walls will be an integral element in the Sorrento community. Theme walls will occur in conjunction with signage in major and minor entries, along the primary Internal Collector and at the entries to neighborhoods. They may be freestanding or integrated with structures. Color, material and style shall be consistent throughout and compatible with the community design concept. Project streetscape design shall ensure that unbroken expanses of community wall are prevented through the use of trees and flowering shrubs (see Exhibit 27, THEME WALLS/TYPICAL STREETSCAPE CHARACTER). Theme walls will be approved by the Planning Director at the time of Design Review.

4. Fencing and CC&R Requirements

All homes will have consistent rear yard fencing which will be provided and installed by the developer.

Covenants, Conditions, and Restrictions (CC&Rs) will be in place which will control the maintenance of home exteriors, front yards, and fencing in perpetuity.

B. LANDSCAPE

1. Planting Design

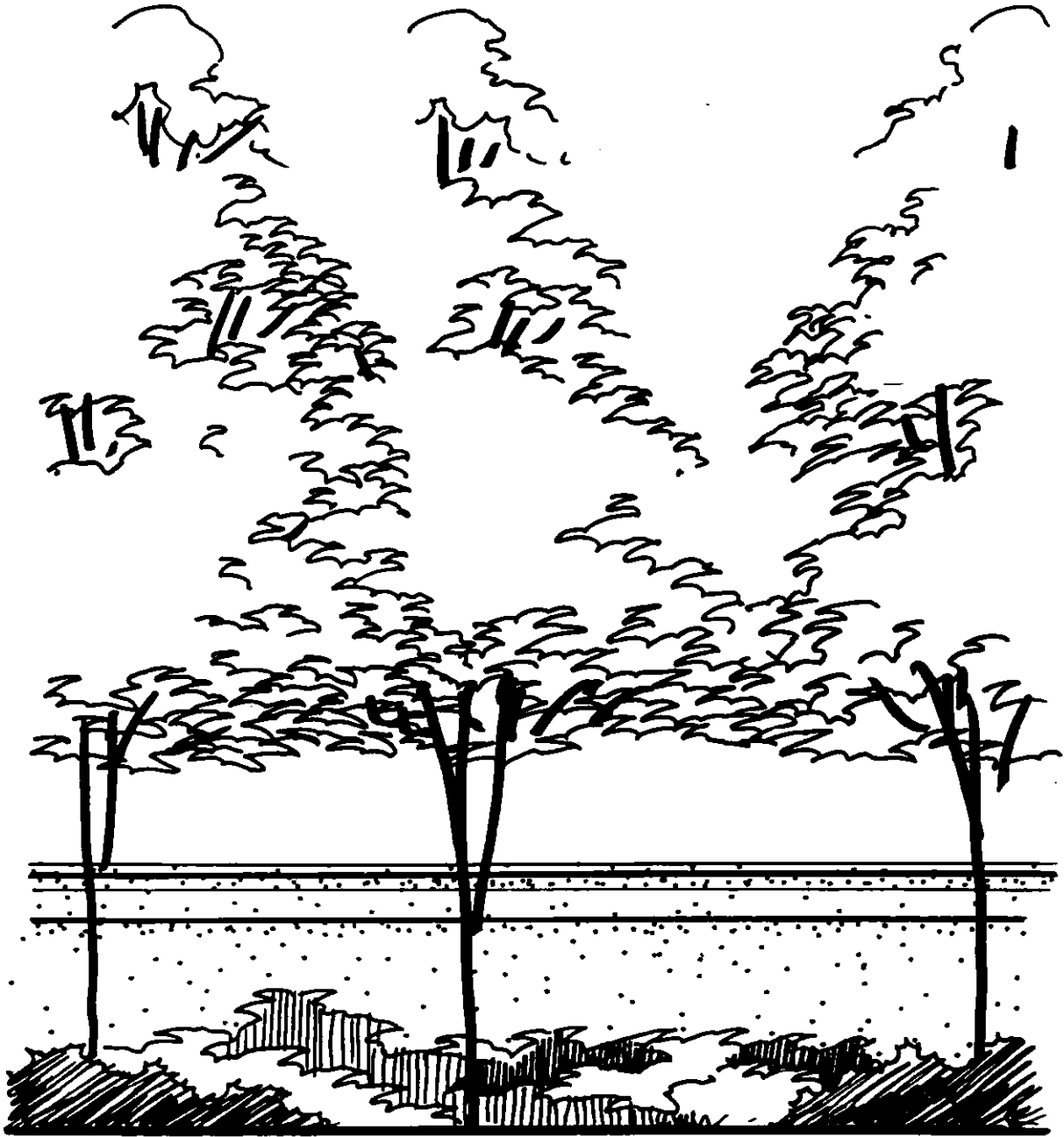
The landscape concept for the Sorrento community is intended to establish a unified and distinctive residential character by addressing edge conditions on the interior and periphery of the Specific Plan area, including the transitions to Ball Road, Moody Street, Denni Street, Orange Avenue, the flood control channel, the interior collector and major entries. Layers of plant masses are used to integrate the building forms. Use of color flowering plant materials is required.

Spatial relationships will be defined by plant form and massing and topographic variation. An appropriate human scale will be created by the use of overhanging tree canopies, shrub massing and berming to provide separation from high traffic areas. Color will be used to reinforce the design concept and to identify focal points throughout the community.

Plant materials shall comply with the approved Cypress plant list. Appropriate maintenance guidelines shall be developed by the project Landscape Architect.

2. Hardscape

Hardscape will be compatible in design, color, texture and materials with the design intent of the project. Pedestrian walkways will be curvilinear along the Interior Collector parkway, along perimeter arterial streets and through the community park. Entry and transition areas, except in public streets or on public sidewalks, may be enhanced by use of



Project streetscape design will ensure that long expanses of Community Theme Walls are broken by shrub and tree massing.

Source:



FRANK
RADMACHER
ASSOCIATES, INC.
Landscape Architects



Theme Walls
Typical Streetscape Character

Exhibit 27

pavement treatments to reinforce the overall community concept; however, large unrelieved areas of paving are not encouraged. Major project entries may use planted medians with theme trees.

3. Streetscape

The streetscape concept will include specific plant materials for each neighborhood/street, berming, walkways, theme walls and seating in selected areas, as discussed in the Landscape Plan. Streetscape design shall ensure that large areas of unrelieved community theme wall are visually softened by shrub and tree massing (see Exhibit 27, THEME WALL/TYPICAL STREESCAPE CHARACTER).

C. PARKS AND OPEN SPACE

The community park at the intersection of Ball Road and Denni Street will provide open space and recreational opportunities for the residents of the Sorrento community and surrounding neighborhoods. Amenities will include passive and active recreation as determined by the City. Basic park improvements will consist of site grading and soil amendments, turf and tree landscaping (including specimen-sized trees), automatic irrigation systems, concrete walkways, pathway lighting, a restroom/storage building, and a tot-lot. Bike paths on Ball Road and Denni Street may connect through the pathway system in the park, as determined by the City and Cypress Recreation and Parks District.

The park should provide buffering from traffic on Ball Road and Denni Street through use of berming, fencing, and plant materials as necessary. Plant materials should also be used at the interface between park and residential area to extend the visual openness of the park into the neighborhoods. A mixture of evergreen and deciduous plant materials should be used, with deciduous materials placed to allow winter sunshine into adjacent residences.

*Specific Plan
Implementation*

V. SPECIFIC PLAN IMPLEMENTATION

A. PHASING PLAN

The phasing of the Sorrento residential development will generally occur in accordance with Exhibit 28 (PHASING PLAN) and Table 2 (RESIDENTIAL PHASING). The timing and amount of development are estimates and subject to change.

The general order of development will commence at the southern and central portion of the project site and proceed to the north. Development of the portion containing the temporary retention basin will be in Phase III. The community park will be developed in Phase I.

A general description of the anticipated improvements to be implemented in each phase is as follows:

PHASE I Infrastructure development includes improvements to Ball Road, Moody Street from the Internal Collector to Ball Road, and Denni Street, mass grading of the entire site, construction of the Internal Collector and local streets in Phase 1 residential areas, utilities and construction of the temporary retention basin and installation of the traffic signal at the Ball Road major project entry. Installation of the community park will occur at this time.

Residential development will include the SFD-5000 area north of Ball Road, and the SFD-6000 area northwest of the Internal Collector.

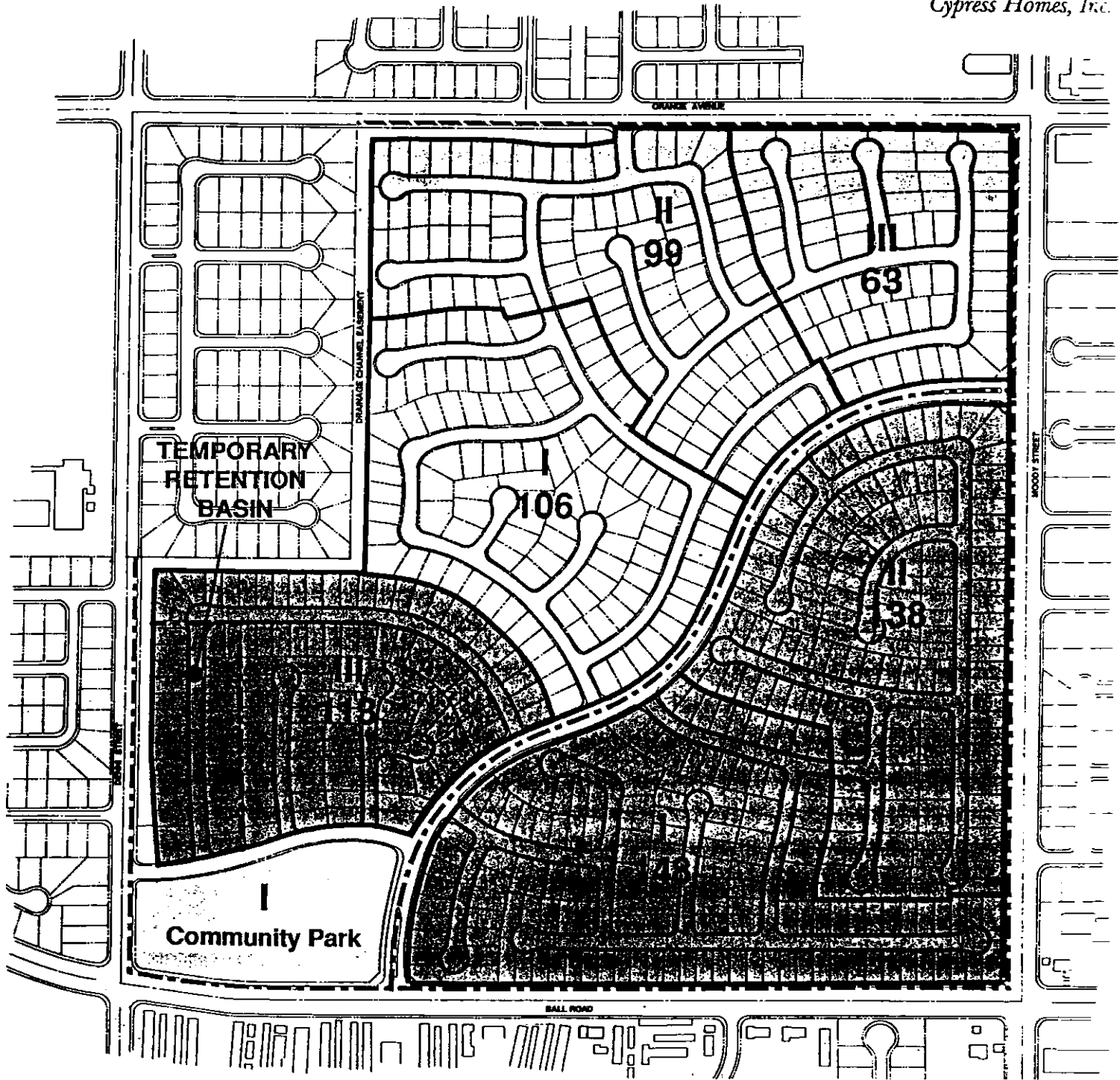
PHASE II Infrastructure development includes Orange Avenue improvements along the project's northern boundary and Moody Street improvements from the Internal Collector to Orange Avenue.

Residential development will include the SFD-5000 area adjacent to Moody Street southeast of the Internal Collector, and the SFD-6000 area in the northern section of the site, adjacent to Orange Avenue and the drainage channel.

PHASE III Residential development will include the SFD-5000 area east of Denni Street and adjacent to the community park, and the SFD-6000 area at the corner of Orange Avenue and Moody Street. A traffic signal at the Moody Street/Internal Collector intersection will be constructed at this time, as warranted.

SORRENTO

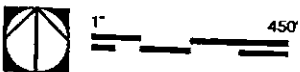
Cypress Homes, Inc.



INFRASTRUCTURE PHASING

- I
- II
- Community Park
- SFD 5000
- SFD 6000

Source:



	PHASE		
	I	II	III
60' X 100' (268)	106	99	63
50' X 100' (399)	148	138	113
TOTAL (667)	254	237	176



Phasing Plan

Exhibit 28

TABLE 2 RESIDENTIAL PHASING

Phase	SFD-6000	SFD-5000	Total
I	106	148	254
II	99	138	237
III	63	113	176
TOTAL	268	399	667

B. ENFORCEMENT OF THE SPECIFIC PLAN

The City of Cypress Community Development Department will administer the Sorrento Specific Plan in accordance with provisions of the Cypress Municipal Code. Certain provisions in the Plan may be administratively changed, subject to the review and approval of the Planning Director. This decision may be subsequently appealed to the City Council within fifteen (15) days. Such changes may include the addition of information to the text or accompanying maps or changes in the Plan's infrastructure provided that no significant changes are found to occur and that the development concept and regulations remain intact.

This Specific Plan document may be amended utilizing the procedure by which it was originally adopted. All sections or portions of the Specific Plan to be changed or that may be affected by the change must be included in the amendment. A concurrent amendment to the General Plan would not be required unless the Planning Director or City Council determine that substantive changes would influence the goals, objectives, policies or programs of the General Plan. A supplement to the EIR may also be required if changes significantly affect the intensification of use to the plan area or vicinity beyond the development proposed in the initial analysis.

Prior to issuance of building permits, developer shall provide, in form and substance satisfactory to staff and the City Attorney, (1) a certification of completion of site remediation which meets all local, state, and federal requirements; (2) a disclosure notice to be recorded on all parcels before opening of escrow and provided to prospective buyers, giving the past use of the property and site remediation measures; and (3) an indemnification assurance to the City from developer or Texaco covering any future hazardous waste cleanup required on the site or associated with it and any and all claims or liabilities arising or alleged to arise from the former use of the site or the site remediation measures.

C. GENERAL PLAN CONSISTENCY

California Government Code 65450-65553 allows the adoption and administration of specific plans as an implementation tool for elements contained within the General Plan. Specific Plans must demonstrate consistency in regulations, guidelines and programs with the goals, objectives, policies, programs and land uses that are set forth in the General Plan.

The Sorrento Specific Plan conforms to the goals, objectives and policies outlined in the Cypress General Plan as discussed below. Seven (7) elements outlined in the City's General Plan document (Land Use, Housing, Circulation, Noise, Open Space, Conservation and Recreation) and one (1) element from the Orange County General Plan (the Safety Element which has been adopted by Cypress by mention) have been reviewed and applicable goals, objectives and policies addressed as they pertain to the Sorrento development. A listing of implementation methods by which consistency between the Cypress General Plan and this Specific Plan has been achieved is discussed under each heading.

1. Land Use Element

- a. Encourage balanced land uses which meet basic needs, including employment, housing education, recreation, health and welfare.

Method of Implementation: The Specific Plan Development replaces a single industrial site with a combination of residential and recreational land uses compatible with surrounding land uses. The project provides a variety of housing types with recreational and open space facilities, including a community park and landscaped pedestrian and bike pathways. Infrastructure improvements will be coordinated with construction, and existing potentially hazardous soil contamination will be removed.

- b. Provide for the orderly growth and maintenance of a stable community.

Method of Implementation: The Sorrento Specific Plan provides a comprehensive development plan for the orderly growth of 143.9 acres. The development will contribute to maintaining a stable community by providing a range of housing types and local recreational facilities for Cypress residents. A phasing program has been included to ensure the provision of facilities and services concurrently with residential development.

- c. Protect existing residential neighborhoods.

Method of Implementation: The residential development proposed in the Specific Plan will be consistent with the land use pattern of single family

housing that has been established in this area. Adoption of this Specific Plan is consistent with the Cypress General Plan in its recommendation that this area be utilized for residential use. Edges of the project area will be landscaped to enhance visual quality and encourage pedestrian and bicycle use.

- d. Protect and promote the character and value of existing and proposed land uses.

Method of Implementation: The proposed development preserves the residential character of the neighborhood with similar product types (single family dwelling units) of consistent and compatible quality. Design guidelines for architecture, signage, landscapes and streetscapes will provide guidance for protecting and promoting the area's character.

- e. Encourage adequate open space in private developments and city-wide.

Method of Implementation: The Specific Plan provides a 14' landscaped parkway with a path system along both sides of the Interior Collector road and a community park for area residents. Existing parkways along perimeter arterials will be improved. The community park dedication fulfills approximately 20 percent of the City's goal of 32 acres of new parks.

- f. Discourage the intrusion of incompatible uses and densities into land uses.

Method of Implementation: The proposed residential development is compatible with the existing adjacent residential uses. The overall density of the Sorrento Specific Plan is within the density ranges already established in the immediate vicinity, and the overall gross project density of 4.6 units per acre is lower than the existing General Plan designation of 0-5 units per acre.

2. Circulation Element

- a. Ensure the development of a circulation system that provides a safe, efficient, economical and aesthetically pleasing means of transportation to Cypress residents, the business community and visitors.

Method of Implementation: The circulation system is designed to provide efficient and safe travel for residents of the planned community. Interior streets have been designed in a circuitous fashion to discourage through-traffic within the residential neighborhoods. Primary access to the development is provided on Moody Street and Ball Road by a collector road running through the residential development, and minor access roads provided on Orange Avenue and Denni Street. Primary access points will be signalized, as warranted. Decorative walls, landscaping and entry treatments along roadways have been included in the development plan for privacy, noise attenuation and aesthetics.

- b. Pursue completion and maintenance of bicycle trail system as an integral part of the City's circulation system.

Method of Implementation: The Sorrento Specific Plan provides for the improvement of existing eight foot (8') wide off-street bike/pedestrian pathways along Moody Street, Ball Road, Orange Avenue and Denni Street. Landscape treatment along these rights-of-way will increase visual quality and traffic buffering. The bicycle paths along Ball Road and Denni Street may connect through the Community Park, as determined by park development public hearings.

- c. Encourage the development of aesthetic streetscapes to promote a positive City image and provide visual relief.

Method of Implementation: The development program of the Specific Plan includes a streetscape plan of landscaping, community walls, setbacks, entry treatments, pavement treatments and pedestrian walkways.

- d. Encourage a pedestrian circulation system that promotes walking as a viable mode of transportation.

Method of Implementation: A network of pedestrian pathways is included throughout the residential neighborhoods and along peripheral arterials of the Specific Plan area. These connect to the existing walkways adjacent to the site and provide pedestrian access to nearby parks and schools.

- e. Maintain adequate access to State highways serving the Cypress planning area including the San Gabriel River Freeway on the west, the Santa Ana Freeway on the north and the San Diego and Garden Grove Freeways to the south.

Method of Implementation: Access to regional highways is provided by primary and secondary arterials adjacent to the site (Ball Road, Moody Street, Orange Avenue, Denni Street) and arterials that are in the vicinity of the site (Los Alamitos Boulevard, Cerritos Avenue and Valley View Street).

- f. Direct and concentrate through traffic to major and primary arterial streets rather than using local and secondary arterial streets for such travel.

Method of Implementation: Local streets throughout the neighborhoods utilize the Internal Collector road designed as part of the development to feed the generated traffic onto Ball Road and Moody Street, both of which are primary arterials. Major project entries are limited to those primary arterials.

- g. Design street widths and traffic patterns to reflect surrounding land uses and their traffic demands.

Method of Implementation: The roadways on the proposed project are designed to conform to the City of Cypress road design standards. The 44 foot wide proposed primary collector (curb-to-curb) for the project is designed to serve the development and limit the amount of non-residential traffic (with the exception of emergency vehicles) in the neighborhood areas. Signalization and improvements to adjacent roadways have been implemented in the development of the design as needed, and include upgrading relevant curbs and sidewalks along peripherals. Parking shall be prohibited on the Internal Collector roadway.

- h. Maintain consistency of the arterial street system with the Orange County Master Plan of Arterial Highways.

Method of Implementation: The circulation system included in the Cypress General Plan Circulation Element is consistent with the Orange County

Master Plan of Arterial Highways. Both documents designate the roadways adjacent to the site as:

Primary Arterial: Moody Street
 Ball Road

Secondary Arterial: Denni Street
 Orange Avenue

The proposed improvement of these streets as part of the Specific Plan remains consistent with the classification recommendation designated by both the Cypress General Plan and Orange County Master Plan of Arterial Highways.

3. Housing Element

- a. A balanced housing stock that offers a wide range of housing types and sites, with housing opportunities for all economic segments of the population.
- b. Equal opportunity of choice throughout the housing market area for all residents regardless of race, creed, national origin or ethnic group affiliation.
- c. To promote opportunity for all segments of the population; to obtain decent housing and a suitable living environment within the City.

Method of Implementation: The Sorrento Specific Plan proposes two product types, consisting of single family dwellings on average 6000 and 5000 square foot lots. Numerous variations in style and floor plan will be offered (see Exhibits 25 and 26). The Project enhances the living environment of the local community through the provision of an improved Community Park for the recreational use of the residents, replacing the prior industrial use.

The Cypress General Plan Housing Element shows that through 1988, City housing need in the moderate/upper income market constitute a significant percentage (approximately 70%, based upon SCAG estimates). Although it is not possible to provide figures on actual sale prices, the housing opportunities provided by the Project will be primarily in the move-up market.

While the Sorrento development is not planned for low income housing, it does represent a contribution to the overall supply of housing in the City of Cypress, and potentially increases the availability of lower priced units in the City as the move-up market vacates lower priced residences.

The Sorrento Specific Plan provides housing for all residents in accordance with Federal, State and local regulations for fair housing.

- d. A housing stock that is located to most adequately meet the economic, social and transportation needs of all residents.

Method of Implementation: The proposed development is an infill project that is compatible with existing adjacent land uses. Residents of the Sorrento Planned Development will be able to utilize existing opportunities for economic (adjacent commercial uses and the local Cypress Business Park), social (churches, parks and schools in the area) and transportation (improved roadways and public transportation along Ball Road and Denni Street) facilities.

- e. To encourage residential construction in areas which will be adequately served by public services and facilities in accordance with local plans and programs.

Method of Implementation: The proposed residential development will be served by the Orange County Fire Department, Cypress Police Department, Orange County Transit District and facilities such as the Cypress Library and schools in both the Cypress and Anaheim Union School Districts, Pacific Bell, Southern California Edison, Southern California Gas, County Sanitation District No. 3, and the Southern California Water Company's West Orange County System, and the Cypress Recreation and Parks District.

- f. To develop and apply density and locational standards and guidelines which will help to ensure site suitability for the particular development as well as determine total population and residential density.

Method of Implementation: The Sorrento Specific Plan is proposed for development in conjunction with a re-zone from RS-6000 to PC (Planned

Community - Residential). This process requires approval of the City Planning Staff and City Council. The approved Specific Plan will establish densities and determine the projected population for the completed project. The proposed development is an infill project compatible with surrounding residential neighborhoods.

- g. To require that all new housing development be evaluated with respect to other elements of the General Plan, City codes and Specific Area Plans and any additional items or requirements of the California Environmental Quality Act.

Method of Implementation: Approval of the Specific Plan for the Sorrento Development requires administrative review and approval by the City Staff and Council.

The Plan must be in conformance with the City General Plan as mandated by California Government Code, Section 65454 and the project reviewed in terms of potentially significant environmental impacts by an accompanying Environmental Impact Report (California Government Code, Section 21002.1).

- h. To ensure compatibility of all new development with adjacent existing development in order to enhance rather than detract from the City's housing environment.

Method of Implementation: The design guidelines and development regulations in the Specific Plan promote compatibility with existing adjacent residential development. The Sorrento project proposes similar product types and comparable densities to housing development in the vicinity. The project enhances the existing neighborhood by providing well-designed housing products with unifying community elements (i.e., continuation of existing pedestrian walkways and bicycle paths, streetscape plan on the major corridors, improved Community Park). Overall visual quality is improved over the previous industrial land use.

- i. To encourage housing providers to use elements of land use and structure design which add to the safety and security of residential environments.

Method of Implementation: The proposed Sorrento residential development will comply with relevant State and local building and safety codes.

- j. To encourage the design and construction of new homes and rehabilitated housing to be built in accordance with energy saving criteria.

Method of Implementation: The Sorrento community will be designed and constructed in accordance with relevant building codes addressing energy and water conservation.

4. Open Space, Conservation and Recreation Elements

- a. Preserve a wide variety of open spaces within Cypress urbanized environment for the protection of natural resources, visual relief, community image and recreational enjoyment by the public at large.

Method of Implementation: A variety of open spaces within the plan area provides both recreational opportunities and visual relief. Recreational spaces include the Community Park for use by Cypress residents and a network of pedestrian walkways and landscaped parkways. The community park space fronts on Ball Road and Denni Street and will provide "visual relief" from residential and commercial structures in the form of an open, landscaped area dedicated to the City of Cypress. Landscaped parkways through the neighborhoods and along peripheral arterials also provide visual enhancement.

- b. Support the continual rehabilitation and beautification of the streetscape along streets, realizing that street trees and landscaping are valued natural resources within any community that add to the quality of the overall environment and encourage a good community image.

Method of Implementation: Streetscape design around the periphery of the project and within the project includes pedestrian walkways and bicycle paths integrated with a landscaping program along public rights-of-way and dedicated parkways.

- c. Implement mechanisms to cause developments in Cypress to include recreational, cultural and open-space facilities and improvements by the dedi-

cation of land or property for such purposes or the payment of contributions (exactions) to the City for the provision and preservation of such amenities.

Methods of Implementation: The Sorrento Specific Plan provides for the dedication of a community park of approximately 6.3 acres to accommodate area residents.

- d. Conserve Cypress Flood control facilities as appropriate to protect the public health, safety and welfare.

Method of Implementation: As stated in the Sorrento EIR and Project Drainage Plan, the Sorrento residential development will contribute to the improvement of the Cypress Flood Control Basin/Pump Station planned by County Flood Control. A system of storm drains within the site will carry storm runoff. Temporary measures during construction consist of an onsite retention basin to be replaced with permanent facilities within 5 years of initial construction.

- e. Continue to ensure that adequate useable private open space is provided in residential developments, and that such areas are maintained as open space in perpetuity.

Method of Implementation: Single family detached lots provide private, permanent open space for each lot, enforced by development regulations for front, side and rear yard setbacks.

- f. Promote visually pleasing landscaped corridors and a sense of spaciousness throughout the community to reinforce a sense of form and positive civic image by preserving older trees where possible; by requiring integrated landscaping plans within areas of newer development, and by providing bicycle trails that link cultural, educational, civic and recreational uses.

Method of Implementation: The Sorrento Specific Plan includes landscaping along its Internal Collector and the periphery of the development along the primary and secondary arterials. Existing off-street bicycle paths are part of this streetscape plan surrounding the development.

- g. Preserve existing recreational and park facilities and develop new park and recreational facilities as necessary to maintain an adequate level of service and a wide variety of programs.

Method of Implementation: The Sorrento residential development provides a 6.3 acre park with potential passive and active recreational facilities. Improved bike paths in the landscaped public right-of-way and pedestrian walkways are incorporated in the development plan for the area residents.

- h. Where feasible, community, neighborhood and mini-parks should be located adjacent to school sites, but the prime locational criterion will be how well local neighborhoods are served.

Method of Implementation: The improved park adequately serves the needs of the proposed development as recommended by the City of Cypress. It is located near three schools, residential neighborhoods and is connected to pedestrian and bike pathways.

- i. Provide as wide a range of recreational opportunities as possible, including athletics, arts, crafts and cultural arts programs and facilities for all ages and all interest groups.

Method of Implementation: The Sorrento Residential Development provides pedestrian walkways through the plan area, bicycle paths peripherally and active and passive recreational opportunities in the community park.

- j. Continue to work closely with various appointed citizen groups and service organizations to help ensure that the City's recreation program continuously meets the community's needs in the breadth and quantity of programs offered.

Method of Implementation: Several community meetings will serve to provide input for assessment of local recreation needs for community park facilities.

- k. Ensure that parks and recreation facilities are developed with facilities appropriate to all ages, including athletic fields, active play areas, passive open space, tot lots and picnic areas.

Method of Implementation: The Sorrento Community Park facilities will include active and passive facilities as agreed upon through City and community input.

5. Noise Element

- a. Provide for reduction of noise where the noise environment is unacceptable.

Method of Implementation: The development plan provides community walls which will serve to reduce traffic generated noise from Orange Avenue, Denni and Moody Streets and Ball Road.

- b. Provide for measures to reduce noise impacts from transportation noise sources. These measures include:
 - Construct barriers to mitigate sound emissions where necessary or where feasible.
 - Reduce transportation noise through proper design and coordination of transportation routing.

Method of Implementation: Community walls included in the Sorrento Plan help mitigate sound emissions primarily caused by traffic. Traffic related noise within the project has been minimized by limiting through access routes, keeping the bulk of traffic away from the local streets and residential neighborhoods.

- c. Incorporate noise considerations into land use planning decisions.

Method of Implementation: Noise attenuation measures will be planned as required to comply with existing noise standards.

- d. Develop measures to control non-transportation noise impacts.

Method of Implementation: Construction activities will comply with City Noise Ordinance restrictions.

6. Safety Element

a. Seismic and Geological Hazards

- 1) To provide a safe living environment consistent with available resources required to identify and control natural seismic and geological hazards.

Method of Implementation: Specific soils and geologic investigations of the project will be performed as necessary before final tract map approvals to assess geological and seismic hazard.

- 2) To mitigate potential disaster through land use and development standards designed to respect the tremendous forces of nature.

Method of Implementation: The Environmental Impact Report has identified potential land, soil and geological problems to be addressed prior to the development of the project. A specific geotechnical investigation of the project site will be performed if necessary to assess soil suitability for construction. All construction will be in conformance with building codes pertaining to seismic safety.

- 3) Identify hazard areas and provide information to determine the relative risk to people and property in Orange County.
 - a) Map existing faults, slide areas and other geologically unstable conditions.
 - b) Analyze existing seismic and geological data as it pertains to Orange County.
 - c) Establish development standards for land use and construction to ensure proper design and location of structures.

Method of Implementation: Potential hazards and comprehensive information on the physical features of the site have been discussed in the Environmental Impact Report accompanying this Specific Plan Document. As per CEQA regulations Sec. 15124, the certified EIR contains the necessary sections and maps to identify potential hazards on the site.

b. Fire Hazards

- 1) To provide a safe living environment consistent with available resources required to identify and control structural and wild-land fire hazards.

Method of Implementation: The Sorrento Development will be served by the Orange County Fire Department 2. Existing facilities will adequately meet the needs of area residents. Fire prevention precautions are included as required by Building Code.

- 2) Establish development standards for location, structural design and detection hardware.

Method of Implementation: Adequate smoke detection devices will be planned as required by relevant building codes.

c. Flood Hazards

- 1) To provide a safe living environment consistent with available resources required to identify and control natural water related hazards such as inundation through flood or tidal action.

Method of Implementation: The development plan and development regulations of the Sorrento Specific Plan provide for a storm drain system, contribution to improvement of County Flood Control facilities at Cypress Retarding Basin and a temporary onsite retarding basin for construction runoff. Additional measures shall be undertaken on the project level as required by code. Cypress is a low flood hazard area as identified by FEMA.

d. Crime

- 1) To mitigate the impact of crime through land use regulation, site planning, architectural design and security hardware.

Method of Implementation: The Sorrento Specific Plan has incorporated a number of features in its site plan and architectural design to help deter

incidents of crime. These measures include:

- Adequate lighting throughout the residential neighborhoods and parking areas.
- Low front yard walls to aid in surveillance.
- Security locks and doors as required by relevant building codes.

Appendices

S O R R E N T O

Cypress Homes, Inc.

A. LEGAL DESCRIPTION

The property referred to in this report is situated in the State of California, County of Orange, City of Cypress and is described as follows:

The Southeast Quarter of Section 17, Township 4 South, Range 11 West, in the Rancho Los Coyotes, as shown on a map recorded in Book 51, Page 11 of Miscellaneous Maps, Records of Orange County, California.

EXCEPTING THEREFROM the WEST 20.00 acres of the Northwest Quarter of the Southeast Quarter of said Section 17.

B. INDIVIDUALS CONTACTED

City of Cypress

5275 Orange Avenue

Cypress, CA 90630

(714) 229-6723

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Holly Hamlin, Senior Planner

Darrell Essex, City Manager

David Barrett, Assistant City Manager

Nancy Leonard, Assistant City Manager -
Personnel

Robert Beardsley, Director of Public
Works

Lawrence Hurst, Director of Finance

Ron Lowenberg, Police Chief

Marvin DeCarlo, Director of Parks and
Recreation

Applicant

Cypress Homes, Inc.

Newport Beach, CA 92658

(714) 640-4749

David Langlois, President

Molly Munch, Project Manager

Preparers of the Specific Plan

Robert Bein, William Frost & Associates

Professional Engineers, Planners, and
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ADMINISTRATIVE REPORT TO THE
CITY COUNCIL FROM THE OFFICE
OF THE PLANNING DIRECTOR

August 19, 1988

City Council Meeting of August 22, 1988

SUBJECT: Sorrento Residential Planned Community
Specific Plan No. 88-3 and Zone Change No. 88-6

APPLICANT: Cypress Homes, Inc.
14 Corporate Plaza
Newport Beach, CA 92660

INTRODUCTION

On May 23, 1988, the City Council conducted a public hearing on a proposed residential planned community at the 143.9 acre former Texaco Tank Farm site. The proposed Specific Plan included 759 single-family homes, offering three lot sizes with a density of 5.3 units per gross acre. That plan included a General Plan Amendment to change the land use designation from Low Density Residential (0 to 5 dwelling units per acre) to Medium Density Residential (more than 5 but no more than 15 dwelling units per acre). It also included a Zone Change to change the zoning from RS-6,000 Residential Single-Family to PC 25A Planned Community Residential.

At that time the Council determined the benefits of the proposed project did not outweigh the increase in density which included several deviations from the City's existing development standards for single-family homes. The City Council, therefore, denied the project without prejudice to allow the developer, Cypress Homes, Inc., to return with a new plan at a lower density.

Cypress Homes, Inc. has since prepared a revised plan. The application for the new Specific Plan and Zone Change was filed on June 30, 1988. The applicant has also submitted a draft Development Agreement for the project which will be considered at a future public hearing.

The City Council has considered many alternate plans for the development of the Tank Farm site. The proposed Sorrento Planned Community project has involved many complex and far-reaching issues. Since the submittal of this most recent plan, staff and the developer have met on several occasions to resolve outstanding issues. Discussions have been held up to the time of the preparation of this report.

To date staff believes that all technical planning issues such as lot sizes and building setbacks have been resolved. In regard to public facility issues such as the drainage plan and community park improvements, staff has reached an understanding with Cypress Homes, Inc. which has provided staff with more confidence in the merits of the plan than previously held.

As with the previous plans for Sorrento, the primary question before Council is whether the merits and benefits of the project warrant the City's granting of an increase in density. Based on the most recent negotiations with Cypress Homes, Inc., staff presents the following report:

DEVELOPMENT PLAN

The present proposed plan includes Specific Plan No. 88-3 which calls for a maximum of 667 single-family homes, offering two lot sizes at a gross density of 4.6 units per acre. The proposed community park remains at approximately 6.3 acres in size. This new plan also requires Zone Change No. 88-6 to change the zoning from RS-6,000 to PC 25A Planned Community Residential No. 7. Because the new plan is proposed below 5.0 units per gross acre, the project will remain at its current land use designation of Low Density Residential. Thus, a General Plan Amendment is not required.

In accordance with the requirements of the California Environmental Quality Act (CEQA), an Environmental Impact Report (EIR) has previously been prepared, certified on January 11, 1988, and considered, which addresses the environmental impacts of the proposed project. Therefore, no additional environmental documentation is required.

Cleanup of the Texaco Tank Farm site is progressing according to schedule based on the City approved Site Remediation Plan. Ongoing excavation and testing are being completed with the participation and observation of a team of experts representing the City of Cypress, the Orange County Health Care Agency and the Regional Water Quality Control Board. According to Texaco Refining and Marketing, Inc., the site cleanup will be completed by January, 1989.

ANALYSIS

The attached Sorrento Specific Plan reflects the changes made from the previous plan and represents Cypress Homes, Inc.'s response to previous City concerns regarding density and development standards. The following is staff's evaluation of the planning and technical issues and a comparison of the proposed planned community with the existing RS-6,000 zoning. It further describes the exchanges and benefits should the Council approve the proposed project.

Land Use Plan

The proposed Sorrento Land Use Plan is included as Exhibit 3 in the draft Specific Plan. The Land Use Plan illustrates the arrangement of residential and parkland uses within the planned community. The developer has provided a statistical table (Table 1) which includes assumptions and variables based on estimated developable acreage and will necessitate further refinement at the time of tentative tract map submittal. The Circulation Plan is included as Exhibit 4. Although these plans can be used for conceptual purposes, they indicate some design concerns at a detailed level. Staff has met with Cypress Homes, Inc. to discuss and resolve these issues.

Staff, for example, is concerned about the length of some of the proposed cul-de-sacs which extend beyond the City's typical cul-de-sac length of 300 feet. Since there is an apparent market preference for homes on cul-de-sacs, staff and the developer have agreed that, at the time of tentative tract map submittal, the developer's engineers will attempt to minimize cul-de-sac lengths as much as practicable. Staff is also concerned about the location of some of the local streets where they intersect with the internal collector. The location of these intersections needs adjustment to be aligned with streets on opposite sides of the internal collector, wherever possible. Cypress Homes, Inc. has agreed to address this concern at the time the tentative tract map is prepared. Specific provisions for these policies are included on page 10 of the Specific Plan. (See Conditions 1 and 2).

Summary of Residential Uses

The present proposed plan provides for construction of 667 single-family homes to be phased over an estimated period of five years. This represents a reduction of 92 homes from the previous plan of 759 homes. From the three lot sizes of the previous plan, the smallest lot size has been eliminated. In this plan two sizes of detached lots are offered at an overall density of 4.6 dwelling units per gross acre. (The City's existing RS-6,000 zoning allows for a maximum density of 5.0 units per gross acre). This plan distributes the housing units as follows:

<u>Land Use</u>	<u>Maximum Units</u>	<u>Net Density</u>	<u>Gross Density</u>
SFD 6,000	268	4.9	
SFD 5,000	399	6.2	
TOTAL	667	5.6	4.6

Note: A detailed breakdown of proposed distribution of lot sizes will be presented to Council at the time of the public hearing.

SFD 6,000 Description

This zoning area will include lots with a minimum size of 6,000 square feet and represents 40 percent of the total number of lots. The applicant has indicated that many SFD 6,000 lots will exceed the minimum size, with an average lot size of 6,700 square feet. This designation has been revised from the original proposed plan so that the development standards are the same as the City's existing designation of RS-6,000, except for the minimum side yard setback. The current side yard building setback requirement for Cypress' traditional RS-6,000 Zone is a minimum of a combined fifteen feet (15'), with ten feet (10') on one side and five feet (5') on the other side. The proposed side yard setback for this project is five feet (5') on each side (ten feet [10'] combined).

The applicant has indicated that many homes for this project will be larger than existing homes in the traditional RS-6,000 Zone, based on the developer's desire to provide "move-up" luxury homes for community residents. In order to offer these larger homes, the developer believes he must utilize the proposed setback standard rather than the current RS-6,000 standard.

SFD 5,000 Description

This zoning area will include lots with a minimum size of 5,000 square feet and represents 60 percent of the total number of lots. The applicant has indicated that many SFD 5,000 lots will exceed the minimum size with an average size of 5,500 square feet. Like the SFD 6,000 area, the SFD 5,000 area will be developed to meet or exceed all standards of the City's current RS-6,000 zoning except for the combined ten-foot (10') side yard setback, five feet (5') on each side.

Discussion

The new plan has eliminated all 3,500 square foot lots from the previous plan. In addition, all except one of the previously proposed deviations from RS-6,000 development standards were eliminated. Under this plan, all lots will be developed with the RS-6,000 front building and garage setback requirement of twenty feet (20'). As under RS-6,000, the maximum building site coverage will be 40 percent. Under the Sorrento plan the rear yard minimum setback requirement will exceed the RS-6,000 requirement of ten feet (10') and instead be fifteen feet (15').

The only remaining proposed deviation from current RS-6,000 standards is the side yard setback of a combined ten feet (10'), five feet (5') on each side.

There are several existing locations in Cypress in the RS-6,000 Zone which have lots ranging from 4,800 to 5,500 square feet. (See the map included as Attachment 1 for specific locations.) These lots were approved under a former City Zoning Ordinance which provided for "optional design" standards. At that time, the Zoning Ordinance required a minimum side yard setback of ten feet (10'), five feet (5') on each side, instead of the current Zoning Ordinance requirement of fifteen feet (15'), ten feet (10') on one side and five feet (5') on the other side.

The only concern staff had with the reduced side yard setback was that the overall visual impression would be denser than current RS-6,000 single-family development. To avoid a denser visual impression, staff required that the variation of building mass and roof line be designed to prohibit a sequence of opposing two-story elements. Page 43 of the Specific Plan requires that second-story building elements shall be varied to prohibit a sequence of opposing two-story elements. That is, along any given street, alternating homes would have one sloped roof line at a one-story level next to a two-story level roof line element. (See Specific Plan Exhibit 26.) The resulting effect is that there will not be a block of homes in a row with two-story homes creating what may be referred to as a "tunnel" effect along their adjacent side yards. The developer agreed to provide this design element for both the SFD 6,000 and SFD 5,000 lots. This result would provide the same type of residential street layout as already exists in the RS-6,000 Zone.

Staff's Conclusion

Staff expects a high quality of design, including larger, luxury homes. Staff also believes that, through site design review, the five-foot (5') side yard setback will become minimized and that these lots will appear very similar to the traditional RS-6,000 housing developments in Cypress, many of which were developed with five-foot (5') side yard setbacks.

Density the Final Issue

With respect to technical planning issues, staff's concerns have been addressed. As with the previous plan, the issue is no longer a technical planning issue but instead focuses on whether the City Council believes the new plan has addressed the community's previous concerns and whether the benefits of the planned community justify an increase in density from the existing zoning.

Based on the Low Density land use designation as provided in the Land Use Element of the General Plan, the 143.9 acre Tank Farm site could be developed at the standard of five (5) units per gross acre. For the unimproved site, approximately 719 units could be built under the RS-6,000 Zone. However, once all improvements are in place, the number of homes would greatly be reduced. After all streets, easements and the park are dedicated, staff estimates that between 600 and 620 homes could be built according to RS-6,000 Residential Single-Family standards. Traditionally, staff evaluates plans for unimproved property based on the standards as applied to gross density in the General Plan and Zoning Ordinance. However, the 600 to 620 unit estimate of density based on improved property is used as a reference point to help Council better compare the merits of the proposed Sorrento plan with the standards of the existing RS-6,000 Zone.

Consideration of the proposed planned community includes weighing the benefits of other elements of the project. The following sections of this report discuss features and benefits of the project as they compare to the alternative of traditional RS-6,000 single-family housing:

Sidewalks and Parkways

As part of the planned community concept, the developer has requested an adjustment in the design standards required as part of a standard RS-6,000 subdivision. These same adjustments have been granted for the recent J. M. Peters' (Woodside) development.

The typical standard public right-of-way for a local street in an RS-6,000 development is sixty feet (60'). This provides for two ten-foot (10') parkways, one on each side of the street which include a six-foot (6') sidewalk and a four-foot (4') landscaped area. The street width is forty feet (40').

Instead of the standard sidewalk setback from the curb with a landscaped parkway, Sorrento would provide five-foot (5') wide sidewalks placed adjacent to curb, with no landscaped parkway. Utilities and street trees will be placed in a six-foot (6') utility easement behind the sidewalk. Final design of sidewalks and easements and the placement of utilities would be determined by the Design Review Committee. Based on the proposed plan, approval of the Sorrento parkways will grant the developer relief from providing approximately 3.5 acres of parkway which the developer would otherwise have to provide according to a typical RS-6,000 local street parkway standard.

In exchange for that adjustment, the proposed project would provide expanded perimeter arterial parkway landscaping of approximately 1.5 acres over what would be required for a standard subdivision of RS-6,000 homes, plus 0.5 acre in excess parkway width on the internal collector road. This additional landscaped area would be maintained through a maintenance district, which would be established by action of the City Council. (See Conditions 3 and 9.)

The perimeter arterial streets and the internal collector road will have extra width parkways to accommodate enhanced landscape treatment. The perimeter arterials will all have eight foot (8') wide sidewalks included in the total parkway widths as follows:

Orange Avenue (along drainage channel)	16.5 feet
Orange Avenue (remainder)	15.0-feet
Moody Street	17.0 feet
Ball Road (excluding park site)	17.0 feet
Denni Street (along drainage channel)	16.0 feet

The internal collector road will have five foot (5') wide meandering sidewalks within total parkway widths of fourteen feet (14') on each side of the road.

Overall, if the City approves the proposed project, the City would be exchanging 3.5 acres of local street parkway for 1.5 acres of additional perimeter parkway landscaping, plus an additional 0.5 acre excess parkway width on the internal collector road. The developer proposes to compensate for the 2.0 acre difference by providing landscape improvements to the community park as described below, plus the tangible and intangible benefits described on page 12 of this report.

Community Park

Dedication Requirement

As required by the Quimby Act (Senate Bill 1785), the developer must dedicate land and/or pay fees for park and recreation facilities at a standard of three (3) acres per 1,000 population. Based on the proposed project of 667 units, the developer will be required to provide a minimum of 6.3 acres or the equivalent value in fees or improvements. The size of the park, then, would remain at 6.3 acres from the previous project. Based on an RS-6,000, 620 unit project, the minimum park dedication requirement would be 5.9 acres. Thus, under the present Sorrento project, the City would gain somewhat under a half acre in land, plus the landscape improvements to the park in exchange for the 2.0 acres of land gained by the developer in parkway width.

In view of the overall Sorrento plan, Cypress Homes, Inc.'s offer of park improvements constitutes the most significant benefit provided to the City in exchange for the increase in density. To date, Cypress Homes, Inc. has not submitted a detailed offer which specifies the type and value of the park improvements. Generally, however, these improvements will include grass and specimen tree landscaping, an automatic irrigation system, concrete walkways, pathway lighting, a restroom/storage structure and a tot lot. The improvements would be installed during Phase I of the Sorrento development. Early installation would immediately provide a new park for Cypress residents and would benefit the developer in the marketing of the housing project.

Cost estimates for the value of these improvements are a minimum of \$450,000, depending on the precise nature of the improvements. If the City approves this project, which allows 60 percent of the units to be built with lots under 6,000 square feet, staff believes the City should receive maximum benefit in park improvements. To compensate for the balance of 2.0 acres "lost" from landscaped parkways, staff believes the developer should be required to pay the maximum estimate for park improvements. Thus, staff has included a condition of approval which requires the developer to pay an amount not less than \$450,000 for improvements to the Sorrento Community Park. The precise plan for these improvements shall be reviewed and approved by the Cypress Recreation and Community Services Commission. (See Condition 4.)

The Cypress Recreation and Community Services Commission has conducted several months of discussion and held a public hearing on the proposed park. Issues have included the size, location and consideration of amenities. As a result of this discussion, the Commission believed that the City should maximize the amount of parkland to be dedicated. The proposed park size of 6.3 acres reflects the City's need for a park which is large enough to provide a variety of facilities to serve the entire City as well as the local neighborhood.

The proposed location of the park remains at the southwest corner of the site. After considerable discussion of alternatives, the Commission believed that this was the most appropriate location. Its reasons were as follows:

1. The City's General Plan Open Space, Conservation and Recreation Element identifies the need for a park at this location because many residents living south of Ball Road and East of Denni Street are not within a service area of one-half mile of a park. The Commission also believed that the area near the north end of the site had adequate park facilities along Orange Avenue, including Evergreen Park, Oxford Junior High and Oak Knoll Park.

2. An interior location for the park was not considered appropriate because it would orient the park toward the needs of the Sorrento project area rather than for the whole community. Moreover, traffic from park users would create undesirable impacts on Sorrento project residents.
3. At the public hearing, residents expressed concern about the safety of a park located at the intersection of Ball Road and Denni Street. The safety of children crossing the street to reach the park was a concern, as well as the concern for children playing so close to the intersection.

The Commission understood the above concerns and reviewed possible ways to address them. The Commission found that any location of the park would require residents to cross major intersections. Even if the park were shifted north of the proposed site, residents would still have to cross at Ball Road and Denni Street to reach the park. The Commission believed that the park could be effectively designed to locate high activity areas toward the center of the park, away from the street, and include fence and landscape barriers to prevent children from coming within an unsafe proximity of street traffic.

Staff's Conclusion

The Cypress Recreation and Community Services Commission desired that the City obtain the maximum amount of the parkland dedication requirement in the form of land. Thus, Cypress Homes, Inc. has proposed that the park size represent the full dedication requirement. Moreover, they have offered to pay for and install the landscape improvements mentioned above. Since the Sorrento site may provide the last significant piece of land for a new park, it is important for the City to maximize the opportunity for the park's development. Both the City and Cypress Homes, Inc. would benefit by having the park developed at the early phase of the project construction.

Staff believes the proposed location of the park is the most appropriate based on the General Plan and design issues as well as the recommendation of the Cypress Recreation and Community Services Commission. Other facilities to be located on the park site will be determined later by the City, based on community needs and funding sources available.

Drainage Plan

A system of subsurface storm drains will be installed to accommodate storm runoff and convey it to the southwest corner of the site. This system is planned to connect with the drainage channel and the Cypress retarding basin adjacent to the site via an 82-inch reinforced concrete pipe (RCP). (See Exhibit 22.)

In the past, this site has not been included in any of the City's master plan of drainage concepts as contributing runoff from any rainstorm. It was assumed that the existing Tank Farm would always remain, acting as a large retarding basin capable of containing the runoff from any storm.

When the site is developed, it shall drain through a combination of a storm drain system and surface runoff to the Cypress Retarding Basin/Pump Station located north of Ball Road and west of Via Linda Street. This facility is currently undersized based on the latest hydrology study adopted by the County of Orange and does not take into account any runoff from the project.

The permanent, proposed, gravity flow storm drain will be constructed from the site to the Cypress Retarding Basin/Pump Station, but the flow will be restricted to a level such that it will not contribute to the overloading of the existing County facility. The developer shall construct a temporary retarding basin onsite that will provide protection from flooding during a 100-year storm. The temporary retarding basin onsite shall be designed in accordance with City requirements, shall be maintained by the developer or at the developer's sole expense, and shall remain for a maximum period of five (5) years from initial construction, until the County of Orange completes a hydrology study and subsequently upgrades its Cypress Retarding Basin/Pump Station.

If the County of Orange determines from its hydrology study that permanent drainage from the project site into the Cypress Retarding Basin/Pump Station will not be allowed, or if the County of Orange requires a permanent offsite retarding basin to control any project flows into the Cypress Retarding Basin/Pump Station, the developer shall design and construct alternative, permanent drainage facilities. The preliminary engineering design of these alternative permanent facilities to the Cypress Retarding Basin/Pump Station upgrade shall be submitted prior to submittal of the tentative tract map. (See Condition 7.)

If a decision to upgrade the Cypress Retarding Basin/Pump Station to receive discharge from the project site is made by the County of Orange, but such upgrade is not completed within five (5) years from construction of the subject project's temporary retarding basin, the approved, alternative permanent facilities shall be constructed by the developer and offered for dedication, as discussed below.

If upgrading the Cypress Retarding Basin/Pump Station is determined by the County of Orange to be infeasible and, thus, alternative facilities are required, the developer shall design and construct such alternative facilities to the complete satisfaction of the City Engineer. Said facilities shall be offered for dedication to the City upon completion by the developer and acceptance by the City as having been satisfactorily constructed.

The entire estimated cost of upgrading the Cypress Retarding Basin/Pump Station facilities or constructing approved alternative permanent facilities (whichever is greater), and the cost of removal of the temporary basin, shall be met by a cash bond or irrevocable letter of credit posted by the developer, in a form satisfactory to the City Attorney, to ensure that permanent drainage facilities are constructed before the end of the five (5) year period. Such bond or letter shall be submitted prior to recording the final tract map.

When the retarding basin onsite is eliminated, pads and homes will be constructed. Cooperative funding for the Cypress Retarding Basin/Pump Station upgrade is currently being considered. A joint project between the City, County and the developer is being investigated, using redevelopment monies along with waiving City drainage fees, with the developer contributing funds to the upgrade. The possibility of cooperative funding and a joint project to construct the required drainage improvements in no way reduces or removes the developer's responsibility to construct the necessary improvements and pay the statutory City drainage acreage fees should such cooperative efforts not be achieved. (See Condition 7.)

Schools

State law requires that a developer of a residential project pay school impact fees equaling \$1.50 per square foot, to be shared equally between the Cypress School District and the Anaheim Union High School District. Cypress Homes, Inc. would fulfill this obligation as part of the Sorrento project development. (See Condition 6.) The developer is not, however, offering any benefits beyond the minimum requirement.

A previous offer to fund improvements for the rebuilding of Landell School was offered only as part of a previous development at a higher density. Since the developer has reduced the proposed density of the Sorrento project, he has eliminated that offer from his overall project proposal.

Based on a City Attorney's opinion, it is staff's understanding that the City is severely limited in its ability to require school facilities as a condition of approval. The existing State law requiring school impact fees was enacted to ensure a consistent State policy to provide adequate school facilities. The law was intended to serve as a local agency's sole means for conditioning development projects. In cases of severe overcrowding based on State of California standards, a school district may seek relief from the developer through provision of interim school facilities.

SUMMARY OF PROJECT EXCHANGES AND BENEFITS

In summary, Cypress Homes, Inc. has asked permission to develop a residential planned community which would result in the construction of approximately 50 homes above what could be constructed under the existing RS-6,000 zoning. If the City Council approves the proposed Specific Plan and Zone Change, the exchanges are as follows:

What the City Would "Give" the Developer

- * Maximum sixty percent (60%) of total lots at minimum size of 5,000 square feet, instead of RS-6,000 standard of 6,000 square feet. Average lot size of 5,500 square feet.
- * Reduced side yard setback of combined ten feet (10'), five feet (5') on each side, instead of RS-6,000 standard of combined fifteen feet (15'), ten feet (10') on one side and five feet (5') on the other side.
- * Relief from providing approximately 3.5 acres of local street parkway landscaping. Developer provides an additional 1.5 acres for perimeter parkway landscaping. Net loss to the City is 2.0 acres.

What the Developer Would "Give" the City

- * Lots in excess of 6,000 square feet with an average lot size of 6,700 square feet.
- * Increased minimum rear yard setback of fifteen feet (15') instead of RS-6,000 standard of ten feet (10').
- * Community park landscaping valued at a minimum of \$450,000.

- * Extra-width landscaped parkways, to be maintained through an assessment district instead of through the City's General Fund. Included in this are the internal collector road parkways with widths of fourteen feet (14') on each side.
- * Better quality of design and aesthetics through use of curvilinear street patterns, and architectural and landscape theme control by the City.

CONCLUSION

In light of staff's most recent meetings with Cypress Homes, Inc. and the revisions made to the Specific Plan as discussed in this report, staff believes the technical planning issues have been resolved. Resolution of these issues is further enforced through the attached resolution's conditions of approval (see Exhibit "A" of attached resolution.) Detailed engineering conditions will be implemented at the time of the tentative tract map submittal. With these issues addressed, the City Council must determine whether the benefits of the proposed project warrant the increase in density.

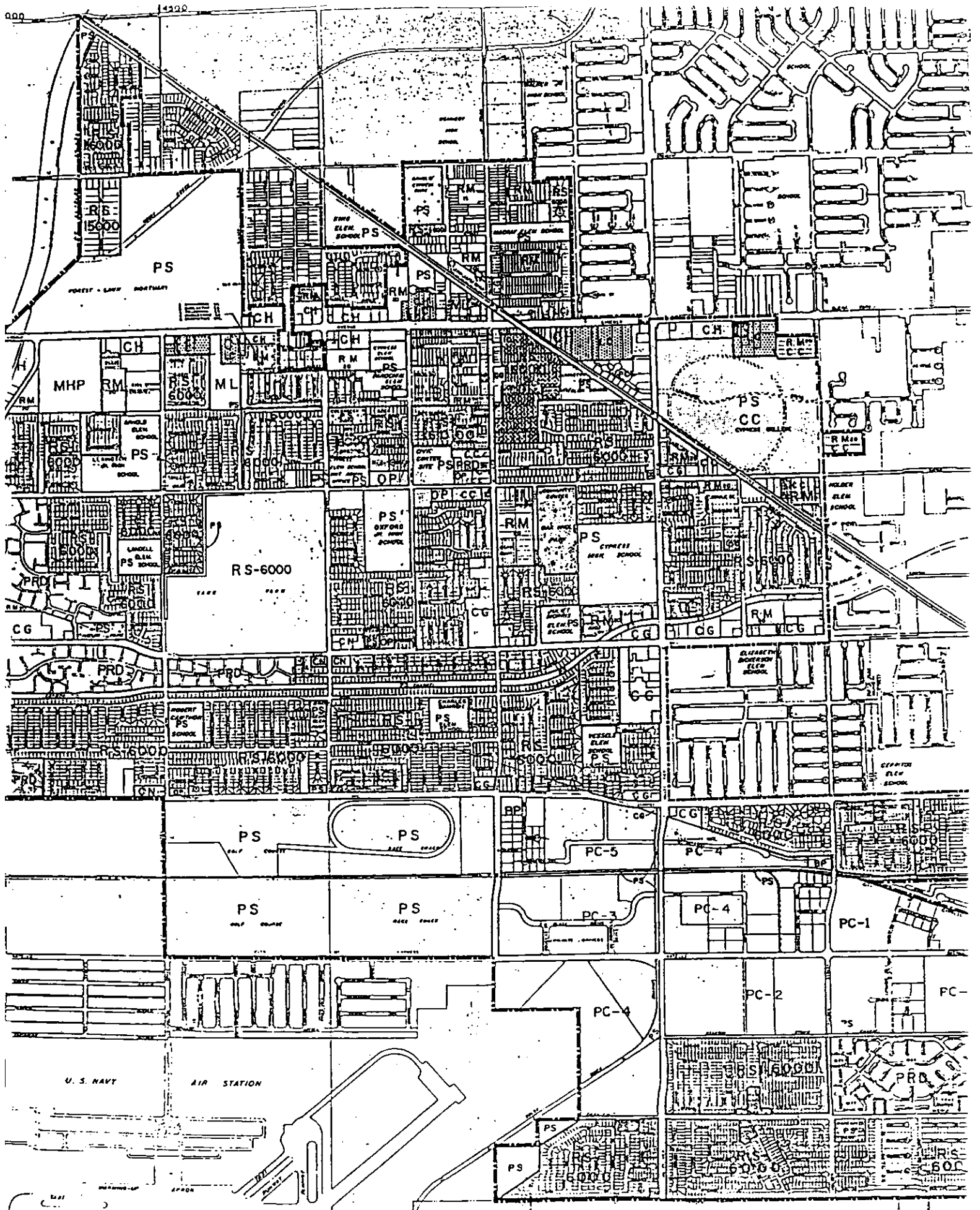
RECOMMENDATION

If the City Council believes the benefits of the planned community are an appropriate exchange for traditional RS-6,000 zoning, staff recommends that Council vote in favor of the project. If the City Council finds the benefits of the planned community do not represent an appropriate exchange for RS-6,000 zoning, staff recommends that Council vote against the project.

Should the Council approve the proposed project, the following actions should be taken:

1. Adopt a resolution approving Specific Plan No. 88-3, Sorrento Residential Planned Community Specific Plan, subject to the conditions in Exhibit "A" attached.
2. Approve for first reading an ordinance approving Zone Change No. 88-6, redesignating the former Texaco Tank Farm site as PC-25A Planned Community Residential PC-7.

HH
Attachments



ATTACHMENT 1

APPROVED BY THE ENGINEERING DIVISION

