

OVERALL SITE PLAN
 scale: 1" = 50'-0"
 0 50' 100' 150' TRUE NORTH

PROPERTY OWNER

GLC CYPRESS LLC
 3333 MICHELSON DRIVE, SUITE 1050
 IRVINE, CA 92612
 949-407-0100
 BLAIR.DAHL@GOODMAN.COM

ADDRESS OF THE PROPERTY

5665 PLAZA DRIVE, CYPRESS, CA
ASSESSOR'S PARCEL NUMBER
 241-101-25

LEGAL DESCRIPTION

PARCEL 2, IN THE CITY OF CYPRESS, COUNTY OF ORANGE, STATE OF CALIFORNIA, AS SHOWN ON LOT LINE ADJUSTMENT NO. LL 2000-03 RECORDED AUGUST 30, 2000 AS INSTRUMENT NO. 200000453704, OFFICIAL RECORDS.
 APN: 241-101-25

ZONING ORDINANCE FOR CITY

MCDONNELL CENTER AMENDED SPECIFIC PLAN

APPLICANT

GLC CYPRESS LLC
 3333 MICHELSON DRIVE, SUITE 1050
 IRVINE, CA 92612
 949-407-0100
 BLAIR.DAHL@GOODMAN.COM

APPLICANT'S REPRESENTATIVE

HPA INC.
 18831 BARDEEN AVE, STE#100
 IRVINE, CA 92612
 TEL: NO: (949) 862-2161
 CONTACT: ANDY WYANTO

SITE PLAN GENERAL NOTES

- ALL LIGHTING SHALL CONFORM WITH MUNICIPAL STANDARDS.
- SEE CIVIL AND STRUCTURAL FOR SITE CONCRETE.
- ALL DIMENSIONS ARE TO THE FACE OF CONCRETE WALL, FACE OF CONCRETE CURB OR GRID LINE U.N.O.
- REFER TO CIVIL PLANS FOR ALL CONCRETE CURBS, GUTTERS AND SWALES. DETAILS ON SHEET AD.1 ARE MINIMUM STANDARDS.
- THE ENTIRE PROJECT SHALL BE PERMANENTLY MAINTAINED WITH AN AUTOMATIC IRRIGATION SYSTEM.
- REFER TO CIVIL DWGS FOR POINT OF CONNECTIONS TO OFF-SITE UTILITIES. CONTRACTOR SHALL VERIFY ACTUAL UTILITY LOCATIONS.
- PROVIDE POSITIVE DRAINAGE AWAY FROM BLDG. REFER TO CIVIL DRAWINGS.
- CONTRACTOR TO REFER TO CIVIL DRAWINGS FOR ALL HORIZONTAL CONTROL DIMENSIONS. SITE PLANS ARE FOR GUIDANCE AND STARTING LAYOUT POINTS.
- REFER TO CIVIL DRAWINGS FOR FINISH GRADE ELEVATIONS.
- CONCRETE SIDEWALKS TO BE A MINIMUM OF 4" THICK W/ TOOLED JOINTS AT 6' O.C. EXPANSION/CONSTRUCTION JOINTS SHALL BE A MAXIMUM 12' EA. WAY. EXPANSION JOINTS TO HAVE COMPRESSIVE EXPANSION FILLER MATERIAL OF 1/4". FINISH TO BE A MEDIUM BROOM FINISH U.N.O.
- ALL SIGNAGE SHALL CONFORM WITH THE MUNICIPAL STANDARD.
- PAINT CURBS AND PROVIDE SIGNS TO INFORM OF FIRE LANES AS REQUIRED BY FIRE DEPARTMENT.
- CONSTRUCTION DOCUMENTS PERTAINING TO THE LANDSCAPE AND IRRIGATION OF THE ENTIRE PROJECT SITE SHALL BE SUBMITTED TO THE BUILDING DEPARTMENT AND APPROVED BY PUBLIC FACILITIES DEVELOPMENT PRIOR TO ISSUANCE OF BUILDING PERMITS.
- PRIOR TO FINAL CITY INSPECTION, THE LANDSCAPE ARCHITECT SHALL SUBMIT A CERTIFICATE OF COMPLETION TO PUBLIC FACILITIES DEVELOPMENT.
- SITE PLAN SHALL MEET ALL ENGINEERING AND NPDES REQUIREMENT.
- ALL LANDSCAPE AND IRRIGATION DESIGNS SHALL MEET CURRENT CITY STANDARDS AS LISTED IN GUIDELINES OR AS OBTAINED FROM PUBLIC FACILITIES DEVELOPMENT.
- NOT USED.
- ALL VERTICAL MOUNTING POLES OF CHAIN LINK FENCING SHALL BE CAPPED.
- LANDSCAPED AREAS SHALL BE DELINEATED WITH A MINIMUM SIX INCHES (6") HIGH CURB

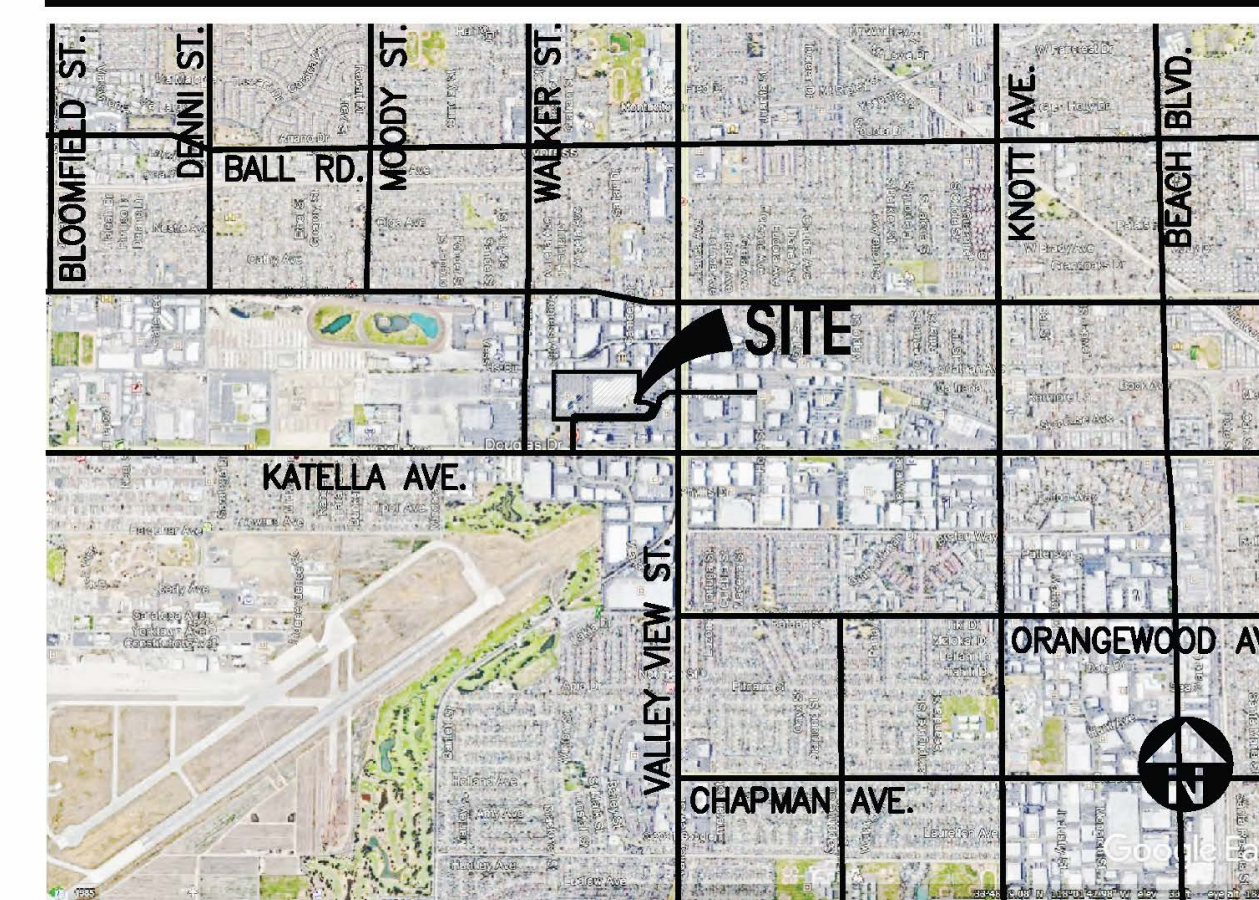
SITE PLAN GENERAL NOTES

- CONCRETE PAVING - RE: CIVIL DRAWINGS THICKNESS
- STANDARD PARKING STALL 9' X 18'
- ACCESSIBLE PARKING STALL 9'X18'+5'W ACCESSIBLE AISLE
- VAN ACCESSIBLE 12'X18'+5'W ACCESSIBLE AISLE
- EV PARKING
- CLEAN AIR/WANPOOL/EV (PROVIDE CONDUIT FOR FUTURE EV CHARGING) STALL (9' X 18')
- EV AMBULATORY PARKING STALL (10' X 18')
- LIGHT STANDARD
- 26' WIDE FIRE LANE. PROVIDE RED CURBS AND SIGNAGE PER FIRE DEPT REQUIREMENT
- FIRE HYDRANT- APPROXIMATE LOCATION

PROJECT DATA

5665 PLAZA	
SITE AREA	371,729 s.f.
In acres	8.53 ac
BUILDING AREA	
Office 1st Floor	5,154 s.f.
Office 2nd Floor	5,149 s.f.
Warehouse	181,081 s.f.
TOTAL	191,384 s.f.
COVERAGE	51.5%
AUTO PARKING REQUIRED	
Office 19250 s.f.	42 stalls
Warehousing	
1st 20,000 s.f. (2/1,000)	40 stalls
2nd 20,000 s.f. (1/2,000)	10 stalls
Remaining 141,081 s.f. (1/4,000)	35 stalls
TOTAL	128 stalls
AUTO PARKING PROVIDED	
Standard (9' x 18')	156 stalls
Standard Accessible Parking (9' x 18')	4 stalls
Van Accessible Parking (12' x 18')	4 stalls
EVCS (9'x18')	31 stalls
EVSE (9'x18')	8 stalls
EVSE Standard Accessible (9'x18')	1 stalls
EVSE Van Accessible (12'x18')	1 stalls
EVSE Ambulatory (10'x18')	1 stalls
TOTAL	208 stalls
ZONING ORDINANCE FOR CITY	
McDonnell Center Amended SP (PA-1)	
MAXIMUM BUILDING HEIGHT ALLOWED	
Height - 99'	
MAXIMUM FLOOR AREA RATIO	
FAR - 70%	
SETBACKS	
Buildings	
Front - 30'	
Rear - 5'	

VICINITY MAP



- CONSTRUCTION TYPE: BUILDING: III - B
- BUILDING HEIGHT: 51'-6" ALLOWABLE: 99'-0"
- SPRINKLERS: BUILDING: YES - ENTIRE STRUCTURE - ESR AT WAREHOUSE - PER CHAPTER 9
- OCCUPANCY GROUP: S-1
- MIXED USE OCCUPANCY: "S-1" OCCUPANCY (MAIN OCCUPANCY)
- OFFICE: "B" OCCUPANCY (MAIN OCCUPANCY)



hpa, inc.
 18831 bardeen avenue - ste. #100
 irvine, ca 92612
 tel: 949-863-1770
 fax: 949-863-0851
 email: hpa@hparchs.com



Owner:

Project:
 5665 PLAZA DRIVE
 CYPRESS, CA 90630

Consultants:
 CIVIL STRUCTURAL MECHANICAL PLUMBING ELECTRICAL LANDSCAPE FIRE PROTECTION SOILS ENGINEER
 PBLA Engineering, Inc. HSA & Associates Air Control System ACI Plumbing Gregg electric RLA JM Carden Sprinkler, Inc G3 SOIL WORKS

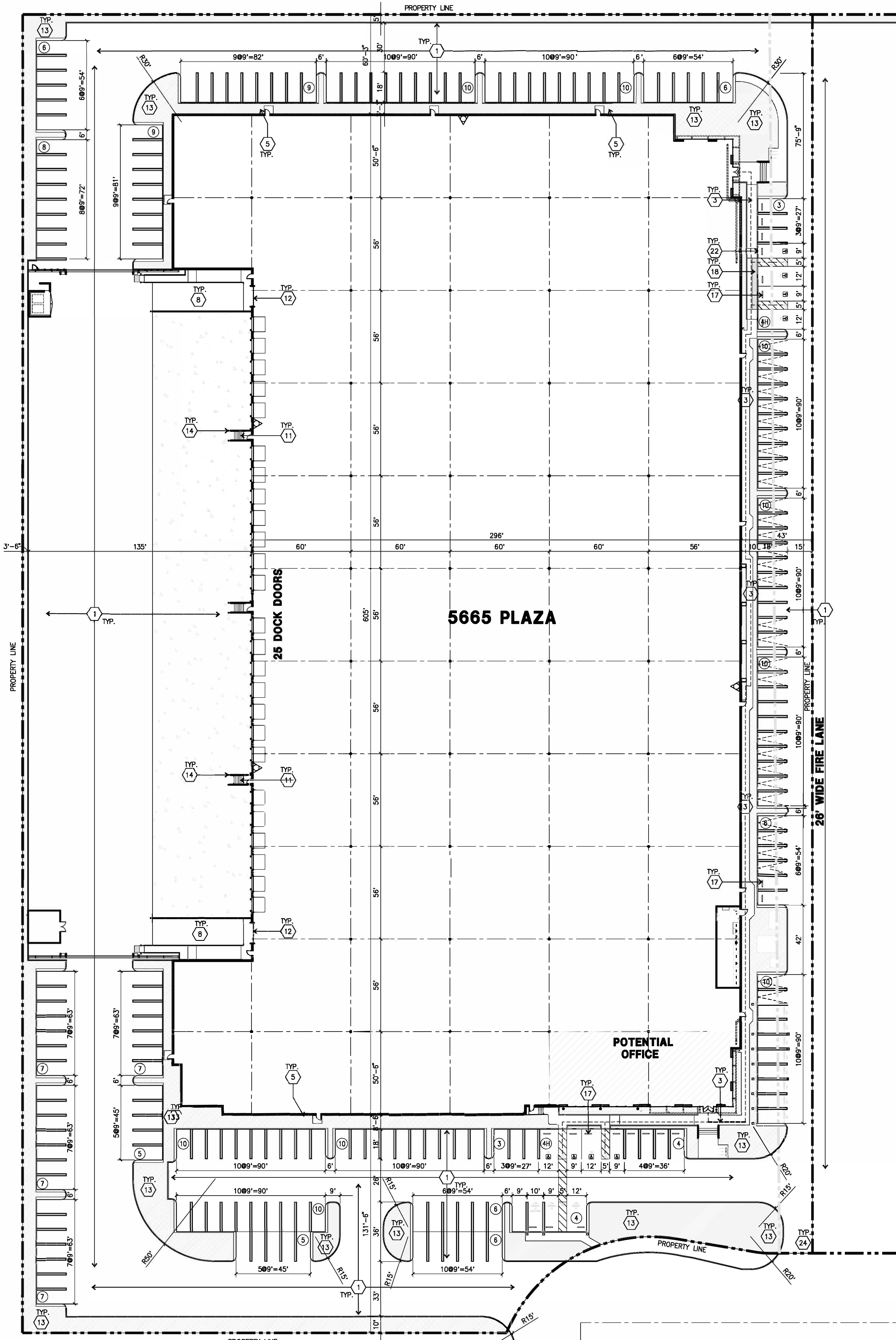
Title: MASTER SITE PLAN

Project Number: 21196
 Drawn by: AW/EM
 Date: 01/08/24
 Revision:

Sheet:

0-DAB-A1.0

OFFICIAL USE ONLY



OVERALL SITE PLAN
 scale: 1" = 30'-0"
 SCALE: 1" = 30'-0"
 0 30' 60' 90'
 TRUE NORTH

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SITE AREA	
In s.f.	371,726 s.f.
In acres	8.53 ac
BUILDING AREA	
Office 1st Floor	5,184 s.f.
Office 2nd Floor	5,149 s.f.
Warehouse	181,061 s.f.
TOTAL	191,394 s.f.
COVERAGE	51.5%
AUTO PARKING REQUIRED	
Office 1/250 s.f.	42 stalls
Warehousing	
1st 20,000 s.f. (211,000)	40 stalls
2nd 20,000 s.f. (192,000)	10 stalls
Resurfacing 141,061 s.f. (144,000)	36 stalls
TOTAL	128 stalls
AUTO PARKING PROVIDED	
Standard (9' x 18')	156 stalls
Standard Accessible Parking (9' x 18')	4 stalls
Van Accessible Parking (12' x 18')	4 stalls
EV/CS (#x18')	31 stalls
EV/SE (9'x18')	8 stalls
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TOTAL	200 stalls
ZONING ORDINANCE FOR CITY	
McDonnell Center Amended SP (PA-1)	
MAXIMUM BUILDING HEIGHT ALLOWED	
Height - 9'	
MAXIMUM FLOOR AREA RATIO	
FAR - 70%	
SETBACKS	
Building	
Front - 30'	
Rear - 5'	

SITE PLAN KEYNOTES

- 1 HEAVY BROOM FINISH CONCRETE PAVEMENT
- 2 FUTURE POLE SIGN TBD.
- 3 CONCRETE WALKWAY, MEDIUM BROOM FINISH
- 4 14'-6" HIGH CONCRETE TILT UP SCREEN WALL WITH 18'-0" HIGH PILASTER.
- 5 5'-6"x5'-6"x4" THICK CONCRETE EXTERIOR LANDING PAD TYP. AT ALL EXTERIOR MAN DOORS TO LANDSCAPED AREAS. FINISH TO BE MEDIUM BROOM FINISH. PROVIDE WALK TO PUBLIC WAY OR DRIVE WAY AS REQ. BY CITY INSPECTOR.
- 6 PROPOSE TRANSFORMER LOCATION.
- 7 8'-0" HIGH METAL GATES W/ KNOX-BOX PER FIRE DEPARTMENT STANDARDS PER DRIVEWAY. CONTRACTOR TO DESIGN & DETAIL GATES, DRAWINGS AND CALCULATIONS PRIOR TO FABRICATION. PROVIDE CONDUIT FOR FUTURE. CONCRETE RAMP.
- 8 BIKE RACK TYPICAL.
- 9 FIRE HYDRANT W/ CONC. FILLED STEEL GUARD POST
- 10 EXTERIOR CONCRETE STAIR.
- 11 12W X 14H OVERHEAD DOOR @ DRIVE THRU.
- 12 ALL LANDSCAPE AREAS INDICATED BY SHADING
- 13 CONC. FILLED GUARD POST "6 DIA. U.N.O. 42" H.
- 14 ENHANCED HARDSCAPE - PAVING FINISH A (VEHICULAR)
- 15 SEE CIVIL PLANS WHERE CONCRETE CURBS OCCUR. BANDS TO BE SEPARATED FROM CURB WITH EXPANSION JOINT.
 - 1. PERIMETER BAND WITH TOLLED JOINTS
 - 2. INTERIOR ACCENT PAVING
 - 3.1 PROVIDE TOLLED CONTROL JOINTS AT 48" O.C. AT 45 DEGREES EACH DIRECTION.
 - 3.2. CENTER OVERALL PATTERN WITHIN PERIMETER BAND SUCH THAT THERE ARE NOT SMALL TRIANGLE PIECES WITH SIDES LESS THAN 3" LONG.
- 16 TRASH COMPACTOR PROVIDED BY OWNER
- 17 PRE-CAST CONC. WHEEL STOP.
- 18 TRUNCATED DOME.
- 19 GRADE LEVEL EXIT DOOR CONNECTED TO PATH OF TRAVEL
- 20 8'-0" HIGH BLACK PAINTED METAL TUBULAR FENCE
- 21 ACCESSIBLE ENTRY SIGN.
- 22 ACCESSIBLE PARKING STALL SIGN
- 23 TRASH ENCLOSURE
- 24 ENHANCED CONCRETE PAVING
- 25 PAINTING STRIPS
- 26 EMPLOYEE PATIO BREAK AREA
- 27 10'-0" HIGH CONCRETE TILT UP SCREEN WALL

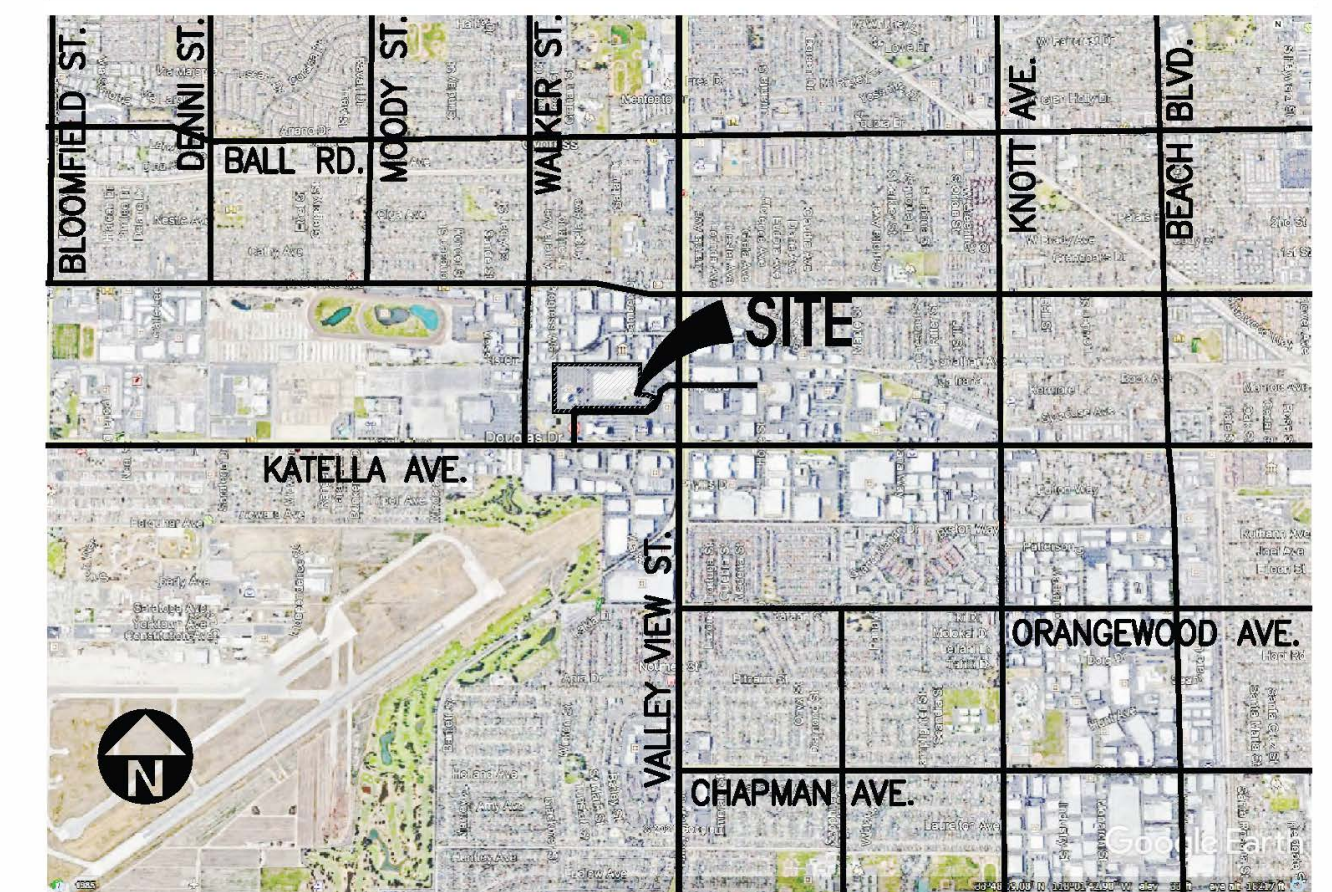
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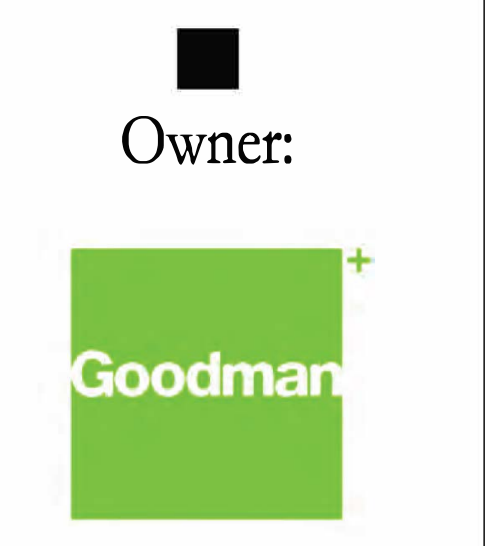
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- FIRE HYDRANT - APPROXIMATE LOCATION

VICINITY MAP



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 18831 bardeen avenue, - ste. #100
 irvine, ca
 92612
 tel: 949-863-1770
 fax: 949-863-0851
 email: hpa@hparchs.com



Project:

5665 PLAZA DRIVE
 CYPRESS, CA 90630

Consultants:

- CIVIL STRUCTURAL PBLA Engineering, Inc.
- MECHANICAL HSA & Associates
- PLUMBING Air Control System
- ELECTRICAL ACI Plumbing
- LANDSCAPE Gregg electric
- FIRE PROTECTION RLA
- SOILS ENGINEER JM Carden Sprinkler, Inc
- G3 SOIL WORKS

Title: OVERALL SITE PLAN

Project Number: 21196
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PLUMBING	ACI Plumbing
ELECTRICAL	Gregg electric
LANDSCAPE	RLA
FIRE PROTECTION	JM Carden Sprinkler, Inc
SOILS ENGINEER	G3 SOIL WORKS

Title: OVERALL FLOOR PLAN

Project Number: 21196

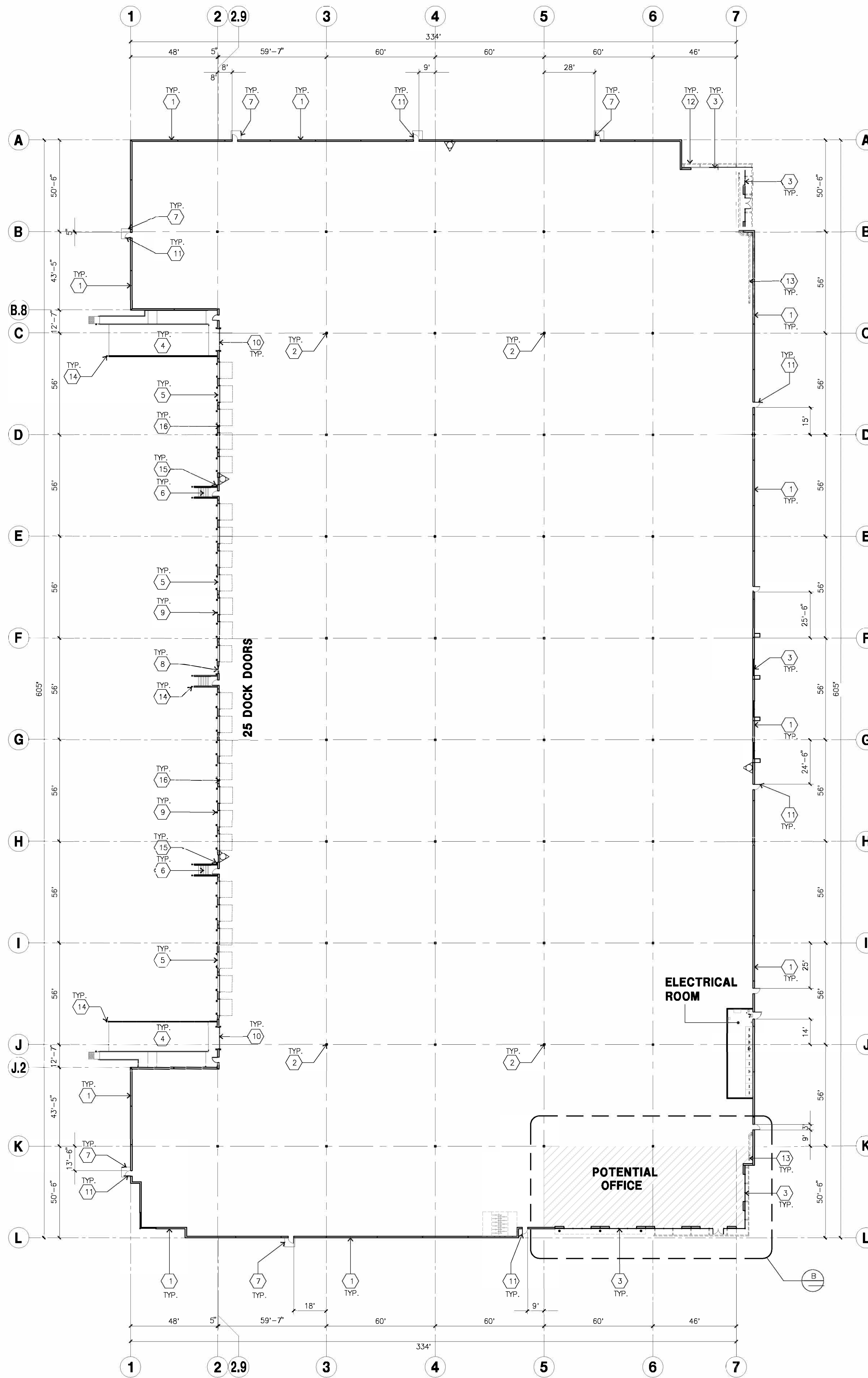
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Date: 12/18/23

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KETNOTES - FLOOR PLAN

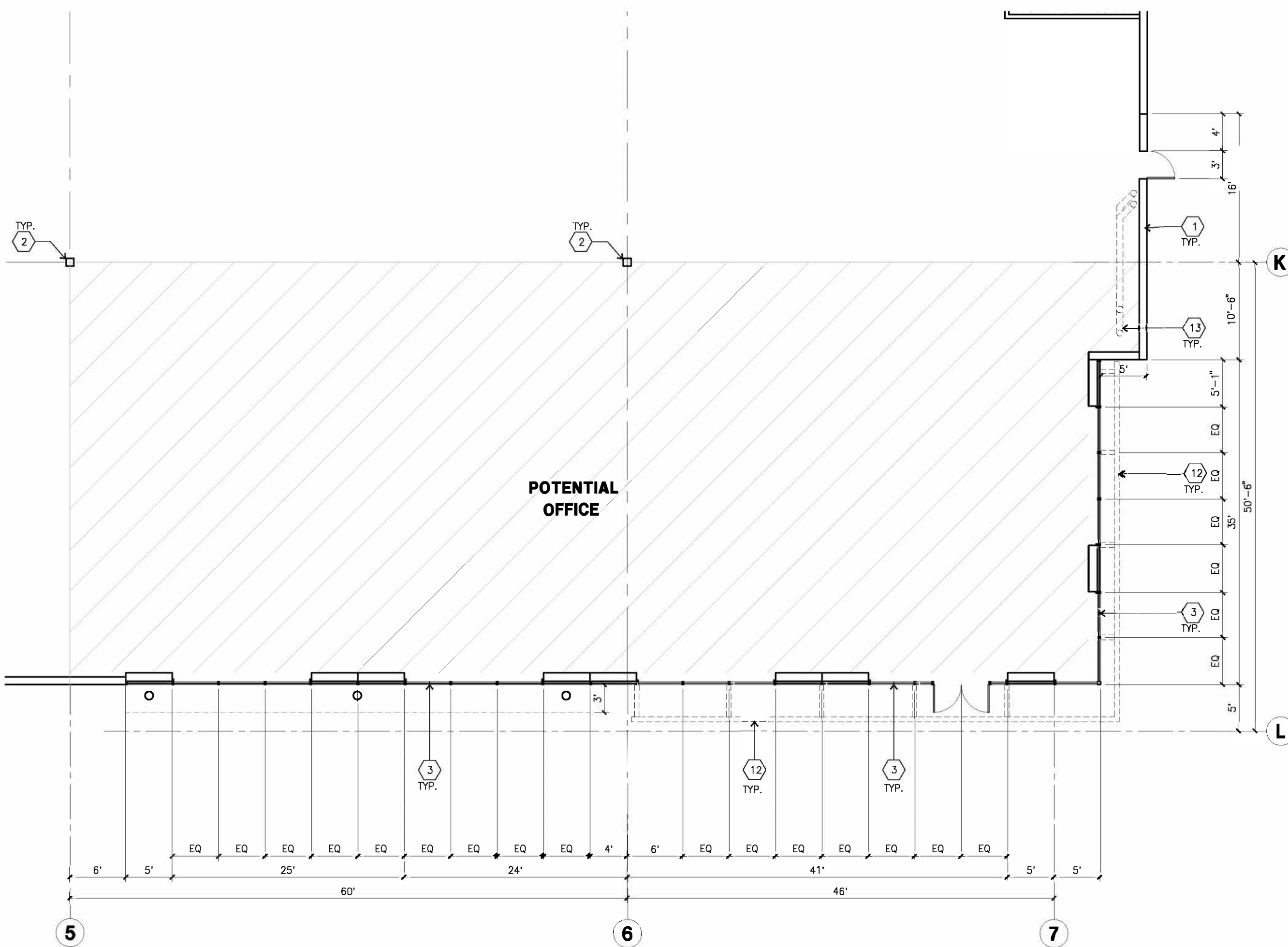
- 1 CONCRETE TILT-UP PANEL.
- 2 STRUCTURAL STEEL COLUMN.
- 3 TYPICAL STOREFRONT SYSTEM WITH GLAZING. SEE OFFICE BLOW-UP AND ELEVATIONS FOR SIZE, COLOR AND LOCATIONS.
- 4 CONCRETE RAMP W/ 42" HIGH CONC TILT-UP GUARD WALL BLOW-UP AND WALL ON BOTH SIDE OF RAMP.
- 5 9'-0" X 10' TRUCK DOOR, SECTIONAL O.H., STANDARD GRADE.
- 6 EXTERIOR CONCRETE STAIR
- 7 5'-6" X 5'-6" X 4" THICK CONCRETE EXTERIOR LANDING PAD TYPICAL AT ALL EXTERIOR MAN DOORS TO LANDSCAPED AREA. FINISH TO BE MEDIUM BLOOM FINISH. SLOPE TO BE 1/4" 12" MAX. PROVIDE WALK TO HARD SURFACE PER CITY REQUIREMENTS.
- 8 LOUVERED OPENING FOR VENTILATION.
- 9 DOCK DOOR BUMPER
- 10 12' X 14' DRIVE THRU. SECTIONAL O.H., STANDARD GRADE.
- 11 3' X 7' HOLLOW METAL EXTERIOR MAN DOOR.
- 12 SOFFIT LINE ABOVE
- 13 INTERIOR DOWNSPOUT
- 14 CONC. FILLED GUARD POST. 6" DIA. U.N.O. 42"H.
- 15 EXTERIOR DOWNSPOUT WITH OVERFLOW SCUPPER.
- 16 Z GUARD

GENERAL NOTES-FLOOR PLAN

- A. THIS BUILDING IS DESIGNED FOR HIGH PILE STORAGE WITH FIRE ACCESS MAN DOORS AT 100' MAXIMUM O.C. A SEPARATE PERMIT WILL BE REQUIRED FOR ANY RACKING/CONVEYER SYSTEMS.
- B. FIRE HOSE LOCATIONS SHALL BE APPROVED PER FIRE DEPARTMENT.
- C. THE BUILDING FLOOR SLAB IS SLOPED. SEE "C" DRAWINGS FOR FINISH SURFACE ELEVATIONS.
- D. NOT USED
- E. WAREHOUSE INTERIOR CONCRETE WALLS ARE PAINTED WHITE. COLUMNS ARE TO RECEIVE PRIMER ONLY. ALL CYP. BD. WALLS IN WAREHOUSE TO RECEIVE 1 COAT OF WHITE TO COVER.
- F. SLOPE POUR STRIP 1/2" TO EXTERIOR AT ALL MANDOOR EXITS.
- G. ALL DIMENSIONS ARE TO THE FACE OF CONCRETE PANEL WALL, GRIDLINE, OR FACE OF STUD U.N.O.
- H. SEE CIVIL DRAWINGS FOR POINT OF CONNECTIONS TO OFF-SITE UTILITIES. CONTRACTOR TO VERIFY ACTUAL UTILITY LOCATIONS. PLUMBING/ELECTRICAL COORDINATION.
- I. FOR DOOR TYPES AND SIZES, SEE DETAIL SHEET AD.4. NOTE: ALL DOORS PER DOOR SCHEDULE ARE FINISH OPENINGS.
- J. CONTRACTOR TO PROTECT AND KEEP THE FLOOR SLAB CLEAN. ALL EQUIPMENT TO BE DIAPERED INCLUDING CARS AND TRUCKS.
- K. ALL EXIT MAN DOORS IN WAREHOUSE TO HAVE ILLUMINATED EXIT SIGN. HARDWARE.
- L. HIGHLY FLAMMABLE AND COMBUSTIBLE MATERIAL SHALL NOT BE USED OR STORED IN THIS BUILDING.
- M. EACH EXTERIOR EXIT DOOR SHALL BE IDENTIFIED BY A TACTILE EXIT SIGN WITH THE WORDS "EXIT". THE MOUNTING HEIGHT FOR SUCH SIGNAGE SHALL BE 60" FROM FINISH FLOOR LEVEL TO THE CENTER OF THE SIGN.
- N. NON-ACCESSIBLE DOOR. PROVIDE WARNING SIGN LOCATED IN THE INTERIOR SIDE PER CGC 113.359.1.1.1.

FLOOR SLAB AND POUR STRIPS REQ.

- THESE NOTES ARE VERY MIN. REQUIREMENT.
- 1. FLOOR COMPACTION - 95%
 - 2. TRENCH COMPACTION - 90%
 - 3. BUILDING FLOOR SLAB:
 - 4. CONTRACTOR TO BUILD FOR CLASS V FLOOR PER A.C.I. 302-IR-98
 - 5. NOT USED
 - 6. CONCRETE SLAB TO HAVE STEEL FLOAT HARD TROWEL BURNISHED FINISH.
 - 7. FOR SLAB CURING, COORDINATE WITH THE OWNER.
 - 8. ALL EQUIPMENT & MOVING VEHICLES SHALL BE DIAPERED.
 - 9. NO CRANES, CONCRETE TRUCKS, OR ANYTHING HEAVIER WILL BE PLACED ON THE SLAB.
 - 10. SLAB TO BE FF50 FL35 MEASURED WITHIN 24 HOURS.
 - 11. NO FLY ASH IN THE CONCRETE
 - 12. WHERE INDICATED, PROVIDE VAPOR BARRIER, CONCRETE SLAB OVER 2" SAND OVER 10 MIL VISQUEEN, OVER 2" SAND, OVER COMPACT SOIL. ENGINEER OR MANUFACTURER'S RECOMMENDATION.
 - 13. CONCRETE SLAB IN FUTURE OFFICE AREAS, WHERE SAND OVER VISQUEEN ARE REQUIRED, SHALL BE NATURALLY HYDRATED WITHOUT USE OF BURLIENE, CURING COMPOUND, OR RELEASE AGENTS. CONTROL/CONSTRUCTION JOINTS SHALL NOT BE FILLED WITH MM-60 JOINT FILLER IN FUTURE OFFICE AREAS.
 - 13. SEAL CONCRETE SLAB W/ "LAPIDOLITH" SEALER



ENLARGED FLOOR PLAN

scale: 1/10" = 1'-0"



OVERALL FLOOR PLAN

scale: 1" = 30'-0"





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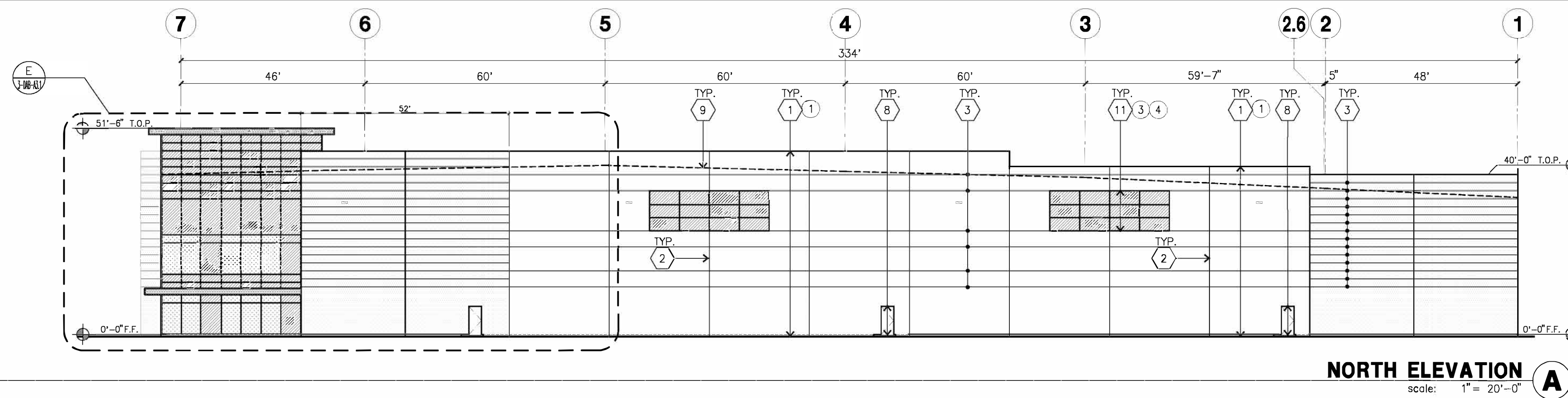
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Title: ELEVATIONS

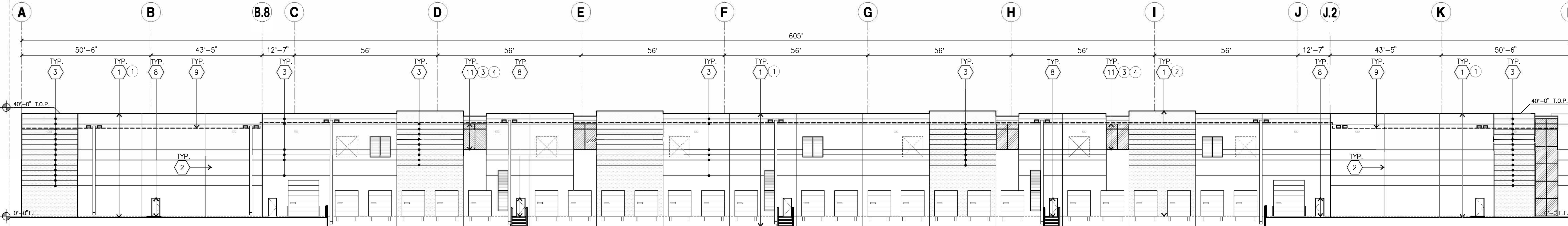
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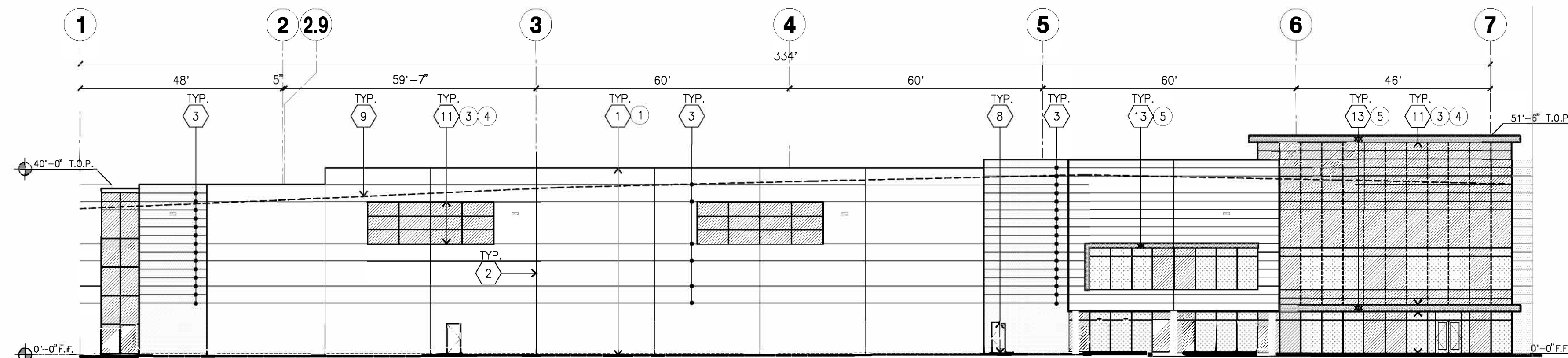
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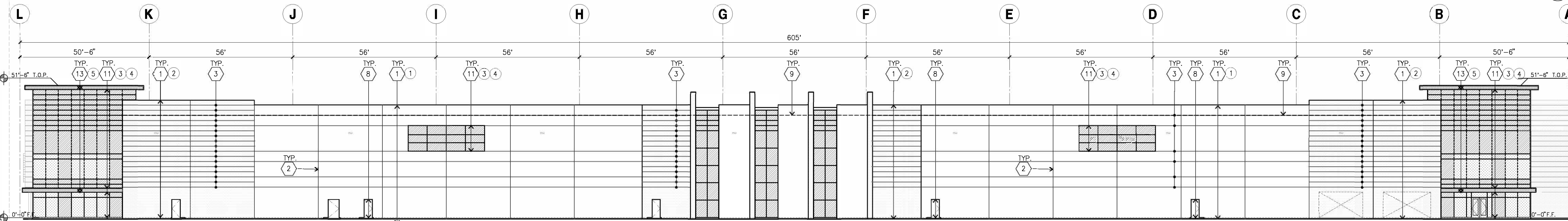
NORTH ELEVATION
scale: 1/8" = 1'-0"



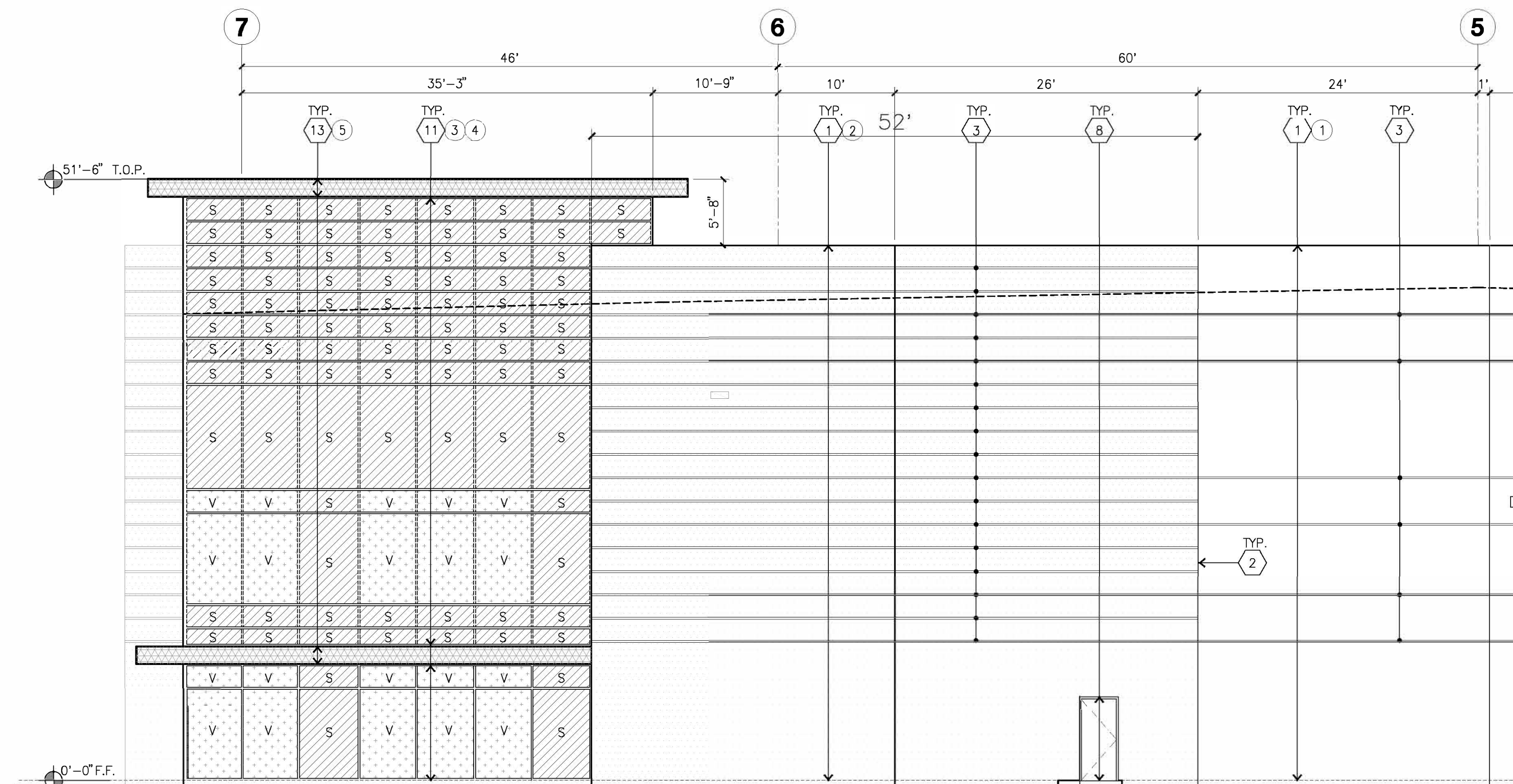
WEST ELEVATION
scale: 1/8" = 1'-0"



SOUTH ELEVATION
scale: 1/8" = 1'-0"



EAST ELEVATION
scale: 1/8" = 1'-0"



ENLARGED NORTH ELEVATION
scale: 1/8" = 1'-0"

KEYNOTES - ELEVATIONS

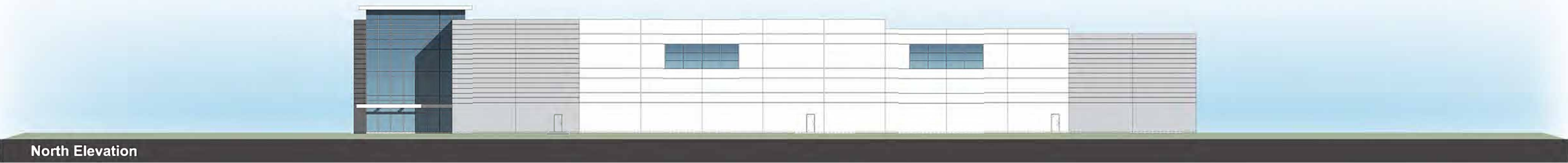
- 1 CONCRETE TILT-UP PANEL(PAINTED), FINISH GRADE VARIES. SEE "C" DRAWINGS. WATERPROOF ALL WALLS WHERE GRADE IS HIGHER AND EXPOSED TO THE WEATHER ONE SIDE. WATERPROOFING TO BE PROTECTED WITH PROTECTION BOARD AND A MIN. OF 6" OF GRAVEL. PROVIDE TRENCH DRAIN AT BOTTOM AND DAYLIGHT TO CURB OR TAKE TO STORM DRAIN. NOT REQUIRED AT DOCK HIGH CONDITION OR AT RAMP WALLS.
- 2 PANEL JOINT.
- 3 PANEL REVEAL. ALL REVEALS TO HAVE A MAX. OF 3/4" DEPTH CHAMFER. REVEAL COLOR TO MATCH ADJACENT BUILDING FIELD COLOR. U.N.O.
- 4 OVERHEAD DOOR @ DRIVE THRU. PROVIDE COMPLETE WEATHER-STRIPPING PROTECTION ALL AROUND. PAINT COLOR TO MATCH FIELD COLOR.
- 5 OVERHEAD DOOR @ DOCK HIGH. PROVIDE COMPLETE WEATHER-STRIPPING PROTECTION ALL AROUND. PAINT COLOR TO MATCH FIELD COLOR.
- 6 CONCRETE STAIR, LANDING AND GUARDRAIL W/ METAL PIPE HANDRAIL. PROVIDE NON SKID NOSING TO MEET ADA REQUIREMENTS. PROVIDE CONTRASTING COLORED 3" WIDE WARNING STRIPE INTEGRAL TO CONCRETE AT TOP LANDING AND BOTTOM TREAD PER ADA REQUIREMENTS.
- 7 METAL LOUVER. PAINT COLOR TO MATCH FIELD COLOR.
- 8 HOLLOW METAL DOORS. PROVIDE COMPLETE WEATHER STRIPPING ALL AROUND DOOR. PROVIDE FOR RAIN DIVERTER ABOVE DOOR.
- 9 ROOF LINE BEYOND.
- 10 DOCK BUMPER
- 11 ALUMINUM STOREFRONT FRAMING WITH TEMPERED GLAZING AT ALL DOORS. SIDELITES ADJACENT TO DOORS AND GLAZING WITH BOTTOMS LESS THAN 18" ABOVE FINISH FLOOR ELEVATION.
- 12 NOT USED
- 13 EXTERIOR CANOPY
- 14 EXTERIOR DOWNSPOUT.

GENERAL NOTES - ELEVATIONS

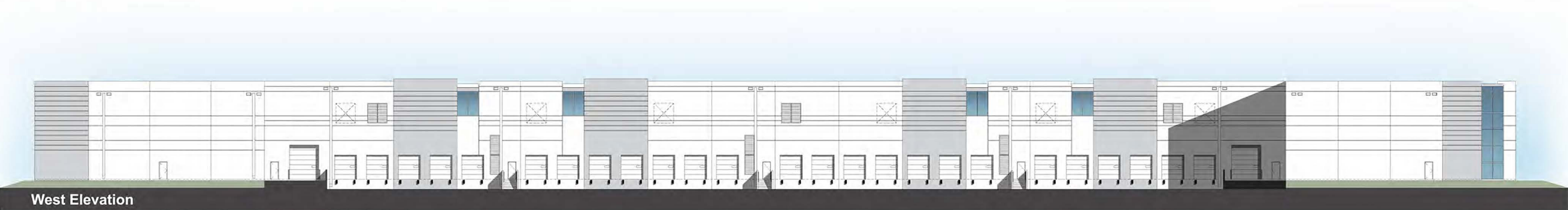
- A. ALL PAINT COLOR CHANGES TO OCCUR AT INSIDE CORNERS UNLESS NOTED OTHERWISE.
- B. ALL PAINT FINISHES ARE TO BE FLAT UNLESS NOTED OTHERWISE.
- C. T.O.P. EL = TOP OF PARAPET ELEVATION.
- D. F.F. = FINISH FLOOR ELEVATION.
- E. STOREFRONT CONSTRUCTION: GLASS, METAL ATTACHMENTS AND LINTELS. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS PRIOR TO INSTALLATION.
- F. CONTRACTOR SHALL FULLY PAINT ONE CONCRETE PANEL W/ SELECTED COLORS. ARCHITECT AND OWNER SHALL APPROVE PRIOR TO PAINTING REMAINDER OF BUILDING.
- G. BACK SIDE OF PARAPETS TO HAVE SMOOTH FINISH AND BE PAINTED WITH ELASTOMERIC PAINT.
- H. FOR SPANDREL GLAZING, ALLOW SPACE BEHIND SPANDREL TO BREATHE.
- J. USE ADHESIVE BACK WOOD STRIPS FOR ALL REVEAL FORMS.
- K. THE FIRST COAT OF PAINT TO BE ROLLED-ON AND THE SECOND COAT TO BE SPRAYED-ON

COLOR SCHED. - ELEVATIONS

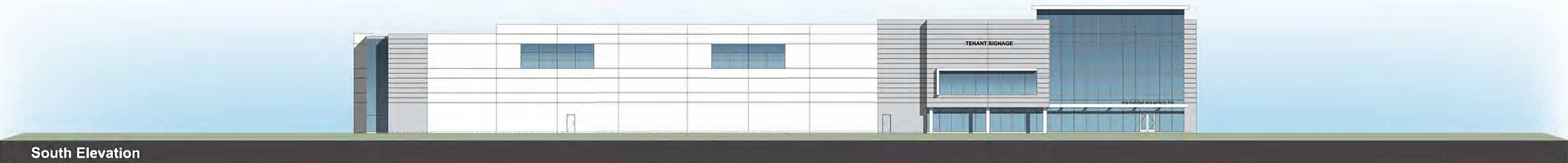
1	CONCRETE TILT-UP PANEL	PAINT BRAND SHERWIN WILLIAMS SW 7005 - PURE WHITE
2	CONCRETE TILT-UP PANEL	PAINT BRAND SHERWIN WILLIAMS SW 7071 - GRAY SCREEN
3	MULLIONS	COLOR CLEAR ANODIZED
4	GLAZING	COLOR BLUE REFLECTIVE
5	METAL CANOPY	COLOR SHERWIN WILLIAMS 7005 PURE WHITE
6	METAL L-FRAME SURROUND CANOPY	COLOR SHERWIN WILLIAMS 7071 GRAY SCREEN



North Elevation



West Elevation



South Elevation



East Elevation



Conceptual Elevations
5665 PLAZA DRIVE
Cypress, California

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