

# LINCOLN AVENUE SPECIFIC PLAN

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PREPARED FOR:

City of Cypress



PREPARED BY:

Robert Bein, William Frost & Associates



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**LEAD AGENCY:**

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## 1.0 SPECIFIC PLAN OVERVIEW

The Lincoln Avenue Specific Plan provides a comprehensive policy and regulatory document to guide the continued development and redevelopment of the plan area. The Specific Plan is in response to the Cypress General Plan Policy 6.1 which cites the development and adoption of a Specific Plan for Lincoln Avenue as a means of further defining and implementing a land use and urban design plan for the corridor. This Specific Plan provides a source document for land use and development regulations and improvements for the physical environment.

The Specific Plan establishes a level of quality for design and development that expresses the City's expectations and insures businesses, residents and property owners that new development will be of the desired type and quality. It allows each parcel and project to be evaluated as a "puzzle piece," playing an important partial role in the overall physical development pattern envisioned for the Lincoln Avenue Corridor.

## **2.0 INTRODUCTION**

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## 2.0 INTRODUCTION

### 2.1 Project Location and Setting

Regionally, the Lincoln Avenue Specific Plan project area is situated in the northern portion of the City of Cypress in Northwest Orange County, California (refer to Exhibit 1, *Regional Vicinity Map*). The project area extends east to west approximately 3.1 miles, from the corporate boundary of Buena Park on the east to the corporate boundary of Hawaiian Gardens on the west (refer to Exhibit 2, *Study Area Boundaries*). Although the emphasis of the project area is along Lincoln Avenue, the project includes extensions to the south along Walker Street and Valley View Street and to the north to the Pacific Electric Railroad right of way.

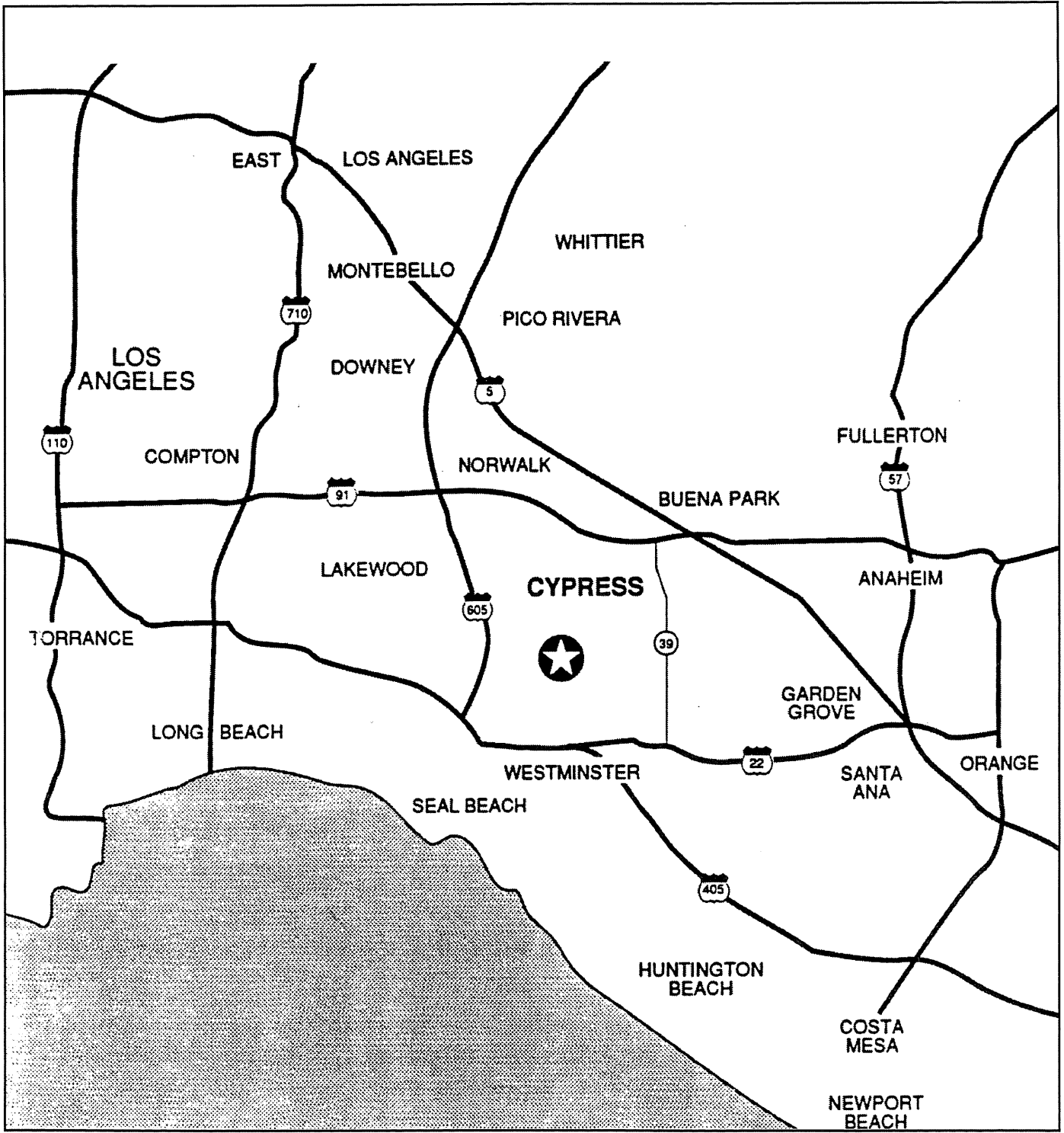
Lincoln Avenue is the major east-west commercial corridor for the City of Cypress. Like many highway oriented strip commercial corridors throughout Southern California, Lincoln Avenue lacks a clearly defined land use pattern. A wide variety of low intensity commercial uses are interspersed along Lincoln Avenue, with no particular nodes of concentrated activity. Existing land uses include retail-commercial (most of which are neighborhood serving), service oriented (auto repair, service stations, beauty shops, motel, restaurants and fast food), office, and residential uses (including single family, senior housing and mobile homes).

Other special uses within the Specific Plan study area include the Forest Lawn Cemetery, located at the northwest entry to the corridor, and Cypress College, located southwest of Lincoln Avenue and Valley View Street. Light Industrial uses are located at Walker Street and the Southern Pacific Rail right of way as well as along the south side of Lincoln Avenue between Denni and Moody Streets, and at Valley View Street and the Southern Pacific Rail right of way.

### 2.2 Purpose, Authority and Intent of the Specific Plan

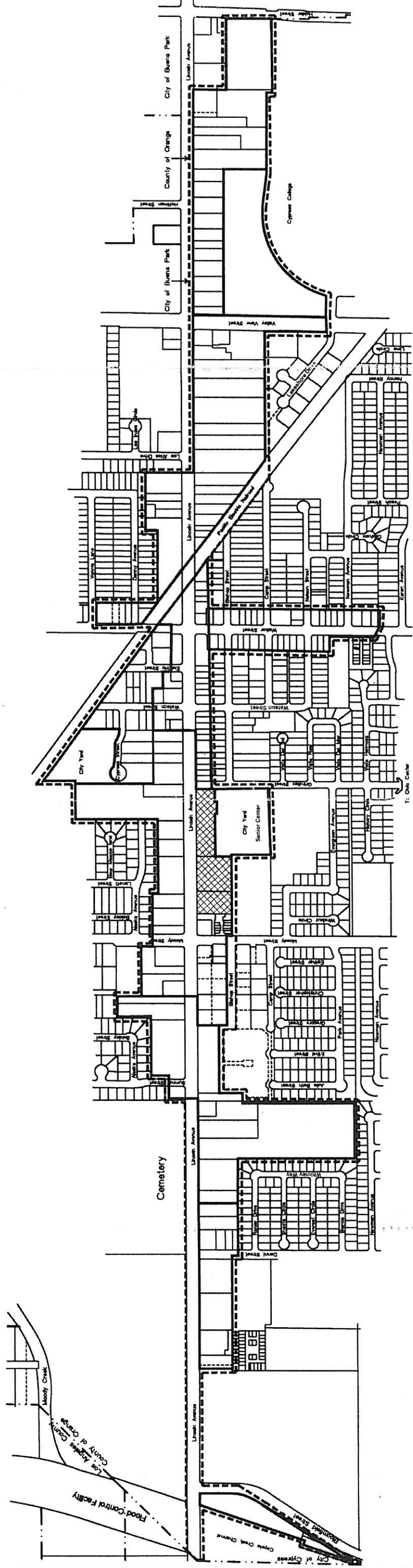
As the primary commercial corridor within the City of Cypress, Lincoln Avenue is integral to the City's well being. This Specific Plan has been prepared to establish a framework that will define the Lincoln Avenue Corridor as a special place, promote the economic vitality of its land uses and guide its continued development. It is the intent and purpose of this document to provide a comprehensive set of development regulations, guidelines, and implementation strategies consistent with the project land use plan and the goals, objectives and policies of the City of Cypress General Plan.

The Lincoln Avenue Corridor Specific Plan is an implementation document, consistent with the adopted goals and policies of the City of Cypress General Plan



Not to Scale

CITY OF CYPRESS  
 LINCOLN AVENUE SPECIFIC PLAN  
**Regional Vicinity Map**



CITY OF CYPRESS  
 LINCOLN AVENUE SPECIFIC PLAN  
**Study Area Boundaries**

Exhibit 2

and prepared in conformance with Title 7, Division 1, Chapter 3, Article 8 of the California Government Code, Sections 65450 through 65457. Specific Plans may be adopted as policies by resolution or as regulations by ordinance. Following adoption by ordinance by the Cypress City Council, this Specific Plan will constitute the legally established zoning for properties within the planning area and will supersede all previous Concept Plans, Master Plans or zoning standards relevant to the planning area. Development plans or agreements, tract or parcel maps, precise development plans or any action requiring ministerial or discretionary approval within the Specific Plan area shall be consistent with the Specific Plan as approved by the City Council.

### **2.3 Background of the Community Participation and Planning Process**

The Lincoln Avenue Specific Plan project area contains a fragmented pattern of development as evidenced by the varied development standards and irregular parcel sizes throughout the corridor. Lincoln Avenue lacks a clearly defined land use pattern. In order to enhance the visual image and economic vitality of the Lincoln Avenue area, a Redevelopment Plan was adopted for the area in February 1990. The Redevelopment Plan is intended to facilitate economic development through the upgrading of existing businesses and attraction of new development.

The General Plan Update that concluded with the adoption of the 1993 General Plan Update included a focused study of the Lincoln Avenue area as one of six special study areas. This process involved extensive citizen participation through City Council appointed citizens advisory committees and special town hall meetings. The 1993 General Plan Update created the Lincoln Avenue Special Plan Overlay and the direction to create a Specific Plan for this area. Policy 6.1 of the 1993 General Plan Update is to "develop and adopt a Specific Plan for Lincoln Avenue as a means of further defining and implementing an urban design plan for the corridor. The purpose of the Specific Plan will be to provide a more detailed specification of the types of uses to be permitted, and to establish integrated development standards related to building height and architecture."

A Specific Plan was started in 1993 based upon the direction in the General Plan. A draft plan was presented to the City Council in September 1994. Following review, the City Council sought extensive citizen input and appointed an advisory committee in 1995. The Lincoln Avenue Specific Plan Advisory Committee met over a period of approximately six months and in July 1996, the twenty seven member committee presented recommendations on various elements of the draft plan. Following this presentation, the City Council appointed a second committee, the Lincoln Avenue Business Association Formation Committee to further review the draft and provide input on implementation and business involvement.

Simultaneously with the review of the draft plan by the committees, the City Council made a commitment to proceed with a \$6,500,000 major streetscape and bridge enhancement project for the Lincoln Avenue corridor. The streetscape design was also reviewed by the committees, presented to the community at large and approved by the City Council to set the design theme for the area and provide significant visual enhancement.

In addition to the committee review and input on the draft plan, the City also contracted with Keyser Marston Associates for the preparation of a Market Opportunities Assessment and Financial Incentives Plan for the Lincoln Avenue Specific Plan.

Over the past few years since the adoption of the 1993 General Plan Update the City has engaged many citizens, property owners and business owners in the review of the Lincoln Avenue Specific Plan draft through the Lincoln Avenue Specific Plan Advisory Committee, the Lincoln Avenue Business Association Formation Committee, numerous City Council workshops, City sponsored community workshops on the draft plan and Lincoln Avenue Streetscape Plan, and newsletter articles.

As part of the final preparation of the Lincoln Avenue Specific Plan, the City will enlist further public input through a community workshop and City Council workshop in addition to public hearing for consideration of adoption of the Lincoln Avenue Specific Plan.

## **2.4 Regional Programs and Considerations**

The growth issues (air quality, housing, traffic) of the 1980's brought about a number of attempts at comprehensive regional planning. The City of Cypress has adopted several plans which deal with regional issues, including an Air Quality Plan, Congestion Management Plan and Growth Management Plan. These three plans have a significant impact on the Lincoln Avenue project due to its cumulative impacts on the traffic conditions in the City.

### **South Coast Air Quality Management Plan**

The South Coast Air Quality Management Plan (AQMP) requires measures to reduce traffic congestion and improve air quality, and requires that cities develop air quality components within their General Plans. These measures include Regulation XV, a program which requires employers of more than 100 persons to prepare trip reduction plans, and a requirement for jurisdictions to prepare an air quality component in the General Plan. The City of Cypress is subject to all local jurisdiction requirements set forth by the AQMP. The City has adopted an Air Quality Element which incorporates AQMP measures.

### **Congestion Management Plan**

The Congestion Management Plan (CMP) is required by Assembly Bill 471 (Proposition 111), subsequently modified by Assembly Bill 1791. This Bill requires every urbanized county to adopt a CMP; the County of Orange has prepared a CMP which includes the City of Cypress. The CMP requires mitigation of traffic impacts of development, as well as trip reduction programs. The City of Cypress has completed the mandated components of the CMP, including level of service standards, trip reduction program, and a seven year capital improvements program for traffic and transit. The capital improvement program identifies intersection improvements associated with the Lincoln Avenue project area.

### **Growth Management Plan**

The Growth Management Plan (GMP) came about as a result of the passage of Orange County Measure M by the voters. Its purpose is to ensure that the planning, management, and implementation of traffic improvements and public facilities are adequate to meet current and projected needs. The City has adopted a Growth Management Element to meet the requirements for Measure M funding, as well as a Transportation Demand Management Ordinance.

### **Transportation Demand Management**

Transportation Demand Management (TDM) measures are generally directed at increasing auto occupancy, decreasing peak hour usage, and managing demand for transportation facilities. The City of Cypress has adopted a TDM ordinance as a part of its compliance with the GMP and CMP programs. New developments in the Lincoln Avenue Specific Plan area will be subject to this TDM Ordinance. The City has an interest in implementing additional measures on the proposed project to further insure compliance with the TDM assumptions. The Circulation Plan section of this document outlines project-specific measures.

## **2.5 California Environmental Quality Act (CEQA)**

The Lincoln Avenue Specific Plan was prepared in compliance with the California Environmental Quality Act (CEQA). Pursuant to State and local CEQA guidelines, the City of Cypress prepared an initial study. The City determined that the project could result in environmental impacts and therefore required environmental analysis. Because the impacts resulting from the project can be mitigated, a mitigated negative declaration was prepared. As lead agency, the City of Cypress will implement a monitoring program for the adopted mitigation measures. To assist in this monitoring effort, a mitigation monitoring program will be developed by the City and included as an Appendix of the Specific Plan upon project approval.



# LINCOLN AVENUE SPECIFIC PLAN

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## 3.0 PLANNING FRAMEWORK

The Planning Framework Chapter contains essential components of the Specific Plan that provides the overall policy direction upon which more detailed components (i.e., land use, development regulations, design guidelines, streetscape plan, etc.) of the Plan are based. The Planning Framework chapter provides the bridge between the policies of the General Plan and the recommended implementing actions of this plan.

### 3.1 Lincoln Avenue Study Area

The 1993 update to the Cypress General Plan included the participation of Citizen Advisory Committees for six special study areas within the City. Lincoln Avenue was a designated study area which was evaluated to determine issues and policy direction for inclusion in the General Plan.

The existing land uses at the time of the special studies are consistent with the current uses in the summer of 1998. Land uses include the following: services, retail, office, restaurant, residential, motel and vacant property. A reconnaissance of the area illustrates a variety of local-serving, independently operated businesses along Lincoln Avenue. Many of the land uses along the corridor have evidence of high turnover, weak market support and lacks any clear grouping of focal points of concentrated development activity.

The Citizens Advisory Committee identified the following issues for consideration for Lincoln Avenue:

- ❖ The primary task of the Lincoln Avenue General Plan Committee was to define a future vision for the City's main commercial thoroughfare to enhance the image and vitality of the corridor. The Committee considered the types of land uses which should be encouraged along the corridor, and discussed appropriate "groupings" of uses.
- ❖ The Committee reviewed existing General Plan (Heavy Commercial) and zoning (Lincoln Avenue Combining Zone) designations as to their continued appropriateness to implement the "vision" for Lincoln Avenue. The existing Heavy Commercial General Plan designation provides for establishments catering primarily to highway travelers, visitors to the City, or such businesses or uses where direct access to major arterial highways is essential or desirable for their operation. The Lincoln Avenue Combining Zone allows for any urban use, subject to a conditional use permit. These designations have permitted a

variety of land uses, many of which are incompatible on Lincoln Avenue.

- ❖ The General Plan Advisory Committee identified a variety of goods and services they currently purchase outside Cypress. The Committee evaluated different mechanisms to attract these land uses to locate on Lincoln Avenue.

### **3.2 Study Area Policy Direction**

The Citizens Advisory Committee was then tasked with the identification of a policy direction for the study area. The following is a summary of the Committee's conclusions which is provided in the Land Use Element of the Cypress General Plan:

In order to provide some organization to the current fragmented pattern of land uses along Lincoln Avenue, the Committee felt it was important to define focal points of development with cohesive groupings of land uses. By specifically encouraging the creation of unique development "activity nodes", properties between these nodes could also gain economic stimulation. The Committee also felt the inclusion of higher density residential along Lincoln Avenue was essential to stimulate economic activity. As for the continued appropriateness of the existing "Heavy Commercial" General Plan designation and "Lincoln Avenue Combining Zone" district, the Committee felt these designations were inadequate to implement the "vision" defined for the Lincoln Avenue commercial corridor.

The Committee stressed the importance of upgrading the visual image along the entirety of Lincoln Avenue and creating an exciting atmosphere to entice motorists traveling through the City to visit shops, restaurants and entertainment areas in Cypress. As a means of defining and implementing a cohesive urban design plan for Lincoln Avenue, the Committee recommended creation of a Specific Plan. In response to the Committee's recommendations, a Lincoln Avenue Specific Plan Overlay was added to the Land Use Plan and policies included in the Element to address the Committee's concerns regarding the visual image of the corridor.

### **3.3 Goals and Policies**

The purpose of this section of the Lincoln Avenue Specific Plan is to provide the policy direction that will help guide the development of subsequent, more detailed

sections of the Plan (i.e., land use and development recommendations, design guidelines, etc.).

The importance of this section is two-fold. First, it provides a list of the City's essential ideas about how the Lincoln Avenue Specific Plan Area should develop in the future. Secondly, the goals and policies provide a means of testing new ideas, proposals, and suggestions to ensure that they support the Plan. Used in conjunction with the Land Use Plan, the goals will help to provide a basis for judging whether a project will be a contribution or a detriment to the future of the Lincoln Avenue Corridor.

Goals and policies of the Specific Plan define the intended focus of the document. Future amendments to this Specific Plan will be consistent with the goals and policies stated below unless the goals and policies are themselves amended.

**Goal 1:      *Enhance the economic vitality of the Lincoln Avenue Corridor.***

- Policy 1.1      Provide a detailed specification of the types of land uses to be permitted within the Lincoln Avenue Corridor.
- Policy 1.2      Provide development incentives which comply with guidelines and standards of the Specific Plan, through the Conditional Use Permit process.
- Policy 1.3      Establish precise commercial/mixed use designations that will identify permitted land uses.
- Policy 1.4      Encourage mixed use development on Lincoln Avenue by providing incentives for senior citizens and multi-family housing.
- Policy 1.5      Locate residential uses within close proximity of commercial centers to encourage pedestrian traffic, and to provide a consumer base for commercial uses.
- Policy 1.6      Enhance Lincoln Avenue's economic vitality by encouraging economical viable uses, regional commercial, restaurants, family entertainment and other destination-oriented and night-time land uses.

**Goal 2:      *Enhance the visual image of the Lincoln Avenue Corridor.***

- Policy 2.1      Provide an “aesthetically pleasing environment” which draws people to the area and will ultimately enhance property values, merchant revenues, and sales tax to the City.
- Policy 2.2      Create a unique “sense of place” for the Downtown and Campus Village Districts area while reinforcing the individual identities of each of the seven districts.
- Policy 2.3      Maintain a “pedestrian scale and orientation” and improve pedestrian circulation and amenities.
- Policy 2.4      Enhance the motorists “sense of arrival” into the City’s Primary Gateways areas.

**Goal 3:      *Design and implement a design plan for the Lincoln Avenue Corridor.***

- Policy 3.1      Establish a land use pattern that compliments the streetscape concepts for the Lincoln Avenue Corridor.
- Policy 3.2      Create a strong physical design statement along Lincoln Avenue as a means of unifying fragmented land uses.
- Policy 3.3      Encourage the creation of development focal points at key locations along Lincoln Avenue. Establish as top priority the creation of activity nodes in the Campus Village and Downtown Districts.
- Policy 3.4      Encourage pedestrian activity along Lincoln Avenue through use of the following elements: pedestrian amenities, such as benches, trash receptacles and signage oriented to the pedestrian; design amenities related to the street level, such as awnings and arcades; building frontages which provide visual interest; and extensive landscaping, including trees, flowering shrubs and ground cover.

**Goal 4:      *Ensure realization of General Plan policies to improve the Lincoln Avenue Corridor.***

- Policy 4.1      Monitor development activity along Lincoln Avenue, and re-evaluate the mix of land uses and development incentives every five years.

- Policy 4.2 Utilize redevelopment authorities to the extent possible to facilitate the revitalization of Lincoln Avenue.
- Policy 4.3 Encourage lot consolidation to achieve more cohesive development projects.
- Policy 4.4 Focus on development incentive as well as enhanced development guidelines regulation.

**Goal 5: *Promote the economic revitalization of Lincoln Avenue.***

- Policy 5.1 Target business attraction and facilitate private investment.
- Policy 5.2 Develop a sense of public/private cooperation through the development of business relationships and a continued high level of customer service.
- Policy 5.3 Develop a Real Estate Broker Network to inform local and regional commercial/industrial brokers of City plans and policies, while utilizing their expertise to assist in business attraction and retention.

## **4.0 DEVELOPMENT CRITERIA**

**(Including Specific Plan Amendment No. 2009-01, Effective 12/9/2009  
and Specific Plan Amendment No. 2016-01, Effective 12/28/2016**

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## 4.0 DEVELOPMENT CRITERIA

This chapter establishes the land use districts within the Lincoln Avenue Specific Plan area and the development standards that apply within each district. Together, the land use districts and the development criteria provide the development provisions for the Specific Plan area. The development criteria, together with the design guidelines (following chapter) implement the goals of the Specific Plan. They are consistent with the goals and policies of the General Plan and, in most cases, with the requirements of the Zoning Ordinance.

### 4.1 General Provisions

#### Relationship to Zoning Ordinance

The land use regulations and development standards contained herein constitute the primary zoning provisions for the Lincoln Avenue Specific Plan area. These regulations are in addition to the current Zoning Ordinance provisions of the City of Cypress Municipal Code. Where there is a conflict between the regulations of the Zoning Ordinance and this Specific Plan, the regulations provided herein shall prevail. Where direction is not provided in this Specific Plan, the provisions of the Zoning Ordinance shall prevail.

The development standards contained herein are minimum requirements. In reviewing individual projects requiring discretionary approval, the City Council may impose more restrictive standards or conditions as it deems necessary to accomplish the goals and objectives of this Specific Plan.

#### Interpretation

The Director of Community Development shall have the responsibility to interpret the provisions of this Specific Plan.

If an issue or situation arises that is not sufficiently provided for or is not clearly understandable, those regulations of the Cypress Zoning Ordinance that are most applicable shall be used by the Director as guidelines to resolve the unclear issue or situation. This provision shall not be used to permit uses or procedures not specifically authorized by this Specific Plan or the Zoning Ordinance.

#### Definitions

Words, phrases and terms not specifically defined herein shall have the same definition as provided for in the Cypress Zoning Ordinance. When used in this Specific Plan, the term "Director" shall mean the Director of Community Development or an appointed representative.



### **Development Review**

To ensure compliance with all applicable policies, land use provisions, development criteria and design guidelines contained in this Specific Plan area, projects will be reviewed in compliance with Section 7.1 of the Lincoln Avenue Specific Plan. The Specific Plan provides regulatory and policy direction for the approval of discretionary permits in addition to the requirements set forth in the Zoning Ordinance.

### **Installation of Public Improvements**

Project developers are responsible for providing adjacent public improvements (e.g., curbs, gutters, sidewalks, street lighting, parkway landscaping, street trees, and other similar items) in compliance with Section 7.2 of the Lincoln Avenue Specific Plan and the standards of the City at the time of development.

### **Amendments**

This Specific Plan, including the Land Use Map, may be amended in compliance with Section 7.1.3 of the Lincoln Avenue Specific Plan.

### **Violations**

Any persons, firm, or corporation, whether a principal, agent, employee, or otherwise, violating any provisions of these regulations shall be subject to the penalties and provisions of the Cypress Municipal Code.

## **4.2 Specific Plan Land Uses**

The Specific Plan components articulate a vision for the Lincoln Avenue Corridor as an attractive, high quality, pedestrian friendly, mixed use activity center. As stated in the Land Use Element of the Cypress General Plan, the Specific Plan is intended to provide development flexibility within the Lincoln Avenue Corridor and provide economic inducements for revitalization. The Specific Plan provides incentives for the development of uses and design features to facilitate upgrading of the area. The development of larger scale uses, such as furniture, appliance and retail outlets, theaters and entertainment is encouraged, as are groupings of complementary uses, such as restaurants and specialty retail. Multi-family residential is encouraged as a means of stimulating commercial activity on the corridor.

Development of the Lincoln Avenue Corridor will have a mixed use character. Commercial and residential land uses are intended to be integrated. Master planning and lot consolidation are encouraged to achieve larger and better integrated development projects. Design guidelines and development standards provided in the Specific Plan promote pedestrian orientation and linkages within

and between uses, including plazas and covered entry spaces; and shared parking with satellite parking facilities serving multiple uses.

The Lincoln Avenue Specific Plan area is comprised of eight land use districts and two overlay zones, as indicated on Exhibit 3, *Lincoln Avenue Specific Plan Land Use Map*. Central to the vision for the Lincoln Avenue Corridor is the creation of mixed use categories that accommodate both commercial and multi-family uses. The land use districts include Commercial Mixed Use, Residential Mixed Use, Residential (30 DU/Acre), Campus Village and Downtown. Industrial Light, Public/Semi-Public and Mobile Home Park land use districts are also included in the Plan. The Plan also provides for a Quasi Public Overlay in the Commercial Mixed Use category. A Commercial Preservation Overlay is provided at major intersections in the Lincoln Specific Plan area. Each planning area is distinguished by variations in type and intensity of land use, and/or development standards; yet linked by common streetscape design elements and similar mixed use characteristics.

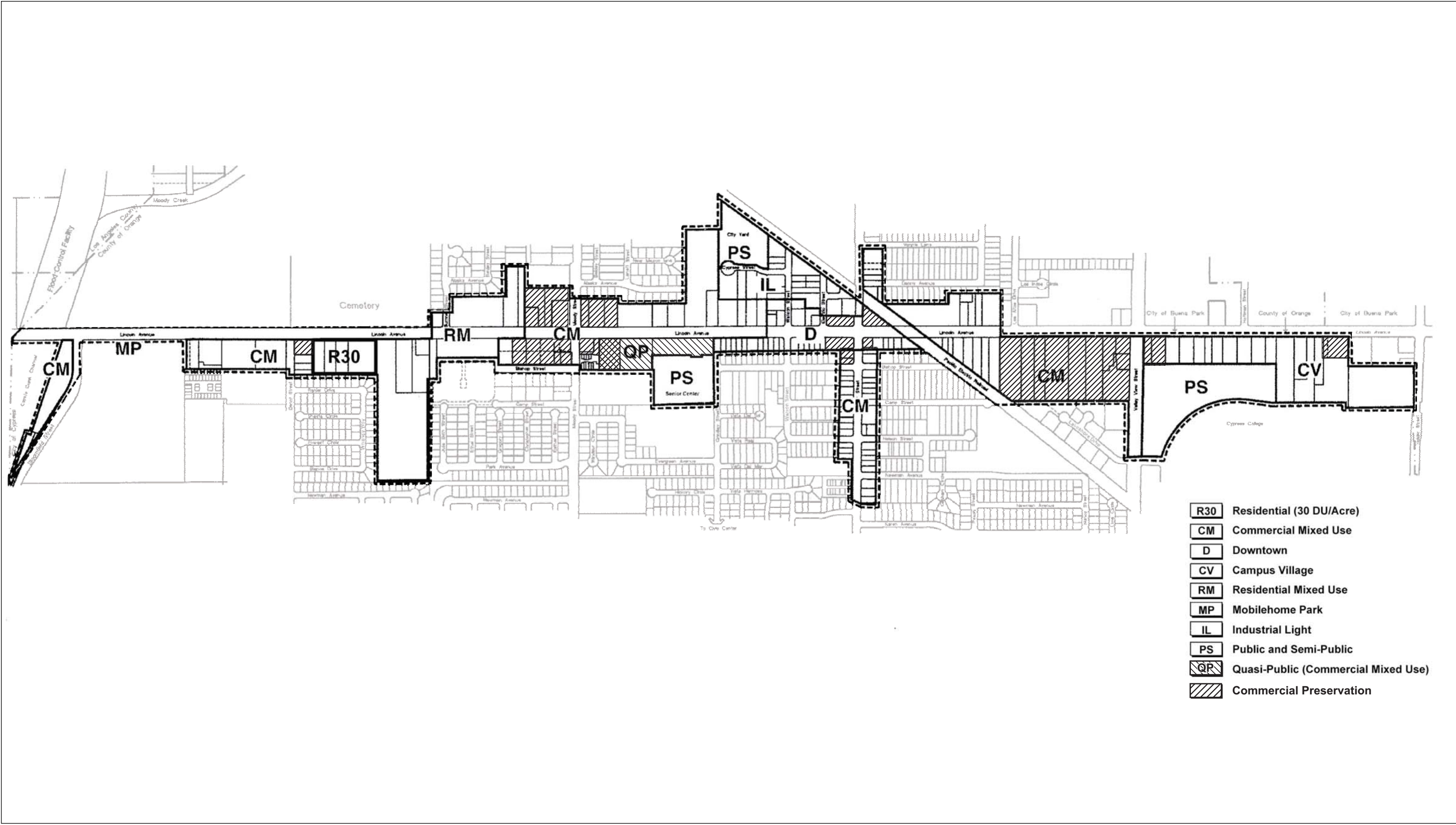
Table 2 lists the maximum and anticipated average floor area ratios for each district. Average development intensities within the area are anticipated to demonstrate a floor area ratio (FAR) of 0.5:1, consistent with the General Plan, Table LU-4 "Land Use Policy Implications." Floor area ratio bonuses of up to 1:1 may be allowed within the Campus Village and Commercial Mixed Use districts in order to encourage mixed use development containing multi-family residential over ground floor commercial subject to the requirements specified in Table 2.

### 4.3 Land Use Character

The general character of each of the eight land use districts and two overlay zones is described below:

#### Campus Village

Campus Village, located east of Valley View Street and bounded by the City limits, is envisioned as a high density activity center, linking to and encompassing portions of Cypress College. The Campus Village District is primarily commercial while also allowing for residential mixed use and high density residential. Primary permitted land uses within this district included entertainment, cultural, retail, restaurant, multi-family, and other uses oriented toward a college student population. Regional commercial uses may occur if the consolidation of parcels is feasible, and the use is compatible with the adjacent area. Special design treatments and development standards distinguish Campus Village as a focal point along the Corridor.



- R30** Residential (30 DU/Acre)
- CM** Commercial Mixed Use
- D** Downtown
- CV** Campus Village
- RM** Residential Mixed Use
- MP** Mobilehome Park
- IL** Industrial Light
- PS** Public and Semi-Public
- QP** Quasi-Public (Commercial Mixed Use)
- Commercial Preservation**

NOT TO SCALE



### Commercial Mixed Use

Commercial Mixed Use is a medium density category, located on the north and south sides of Lincoln Avenue, west of Valley View Street, and extending to the westerly project limits. This designation also encompasses portions of Walker Street that have been identified within the City General Plan for inclusion in the Lincoln Avenue Corridor Specific Plan. The commercial Mixed Use District offers the widest range of commercial uses. Both community serving retail and multifamily residential uses are accommodated. Primary permitted land uses include retail, restaurant, office, personal services, and multi-family residential uses.

### Residential Mixed Use

The residential mixed use district is primarily for residential development (medium density, high density or mixed use), while also allowing for limited commercial development. The planning area encompasses segments of the corridor west of Moody Street and east of Denni Street. Other uses permitted in this district include various neighborhood serving uses such as beauty shops, gift shops and general retail. Conditional uses include grocery stores, furniture sales, theaters and video stores.

### Residential (30 DU/Acre)

The residential district encompasses three designated parcels (totaling 4.8 acres) located on the south side of Lincoln Avenue, east of Denni Street. These sites are intended for exclusively high density residential development (20-30 dwelling units per acre) by right. (Specific Plan Amendment No. 2009-02)

### Downtown

Downtown is a medium density commercial mixed use district, located at Walker Street and Lincoln Avenue. This district emphasizes a historically envisioned Downtown for Cypress and establishes an intimate feel in the Downtown. The Downtown district is primarily a commercial category with more limited uses due to small lot sizes. Primary land uses within the Downtown are similar to the Commercial Mixed Use planning area. Many of the special design treatments and development standards of the Campus Village are repeated within the Downtown to distinguish it as a focal point along the Corridor. Key design factors focusing on pedestrian access includes enhanced pavement areas, landscaping and a clock tower as a focal point near the intersection of Walker Street and Lincoln Avenue.

### Industrial Light

The Industrial Light District is bounded by Walker Street, Grindlay Street and the Southern Pacific Rail line, and is immediately south and southeast of the existing City Yard. Allowable land uses for the Industrial Light District are those listed in the Cypress Zoning Code for the ML Industrial Light Zone which allows for light industrial and complementary service commercial businesses. Pedestrian linkages between this planning area and the adjacent Commercial Mixed Use Area fronting Lincoln Avenue are strongly encouraged.

### Public and Semi-Public

Public and Semi-Public locations within the planning area includes the City Yard, the Senior Center west of Grindlay Street and property east of Valley View Street, adjacent to Cypress College and the Campus Village District. Allowable land uses for the Public and Semi-Public District are per the Cypress Zoning Code for the Public and Semi-Public zone which allows for public uses.

### Mobile Home Park

The Mobile Home Park District is situated at the southeast corner of Lincoln Avenue and Bloomfield Street. Allowable land uses for Mobile Home Park are per the Cypress Zoning Code for the Mobile Home Park zone which is intended exclusively for mobile home parks.

### Quasi Public Overlay

This overlay is associated with a commercial mixed use area located adjacent to the existing Senior Center and fronting onto Lincoln Avenue. Allowable land uses for the Quasi Public Overlay of the commercial mixed use category are those listed in the Public and Semi-Public zone in addition to those listed in the commercial mixed use category.

### Commercial Preservation Overlay

This overlay is associated with commercial mixed use and downtown areas located adjacent to major intersections along Lincoln Avenue in the planning area. Parcels within this overlay zone are restricted to commercial uses only. Residential uses are not permitted within this overlay zone. (Specific Plan Amendment No. 2016-01)

#### **4.4 Land Use Matrix**

A detailed list of permitted and conditionally permitted uses has been identified for the Commercial Mixed Use, Downtown, Campus Village and Residential Mixed Use Districts within the Lincoln Avenue Corridor Specific Plan. These land uses are presented in Table 1, Permitted Land Use Matrix. Within the matrix, permitted land uses are noted by "P" and conditionally permitted uses are noted by "C". Exceptions to specific land use types are noted as footnotes to the matrix.

**Table 1  
PERMITTED LAND USE MATRIX**

| Use  | Commercial Mixed Use | Downtown | Campus Village | Residential Mixed Use | Residential (30 DU/Acre) |
|--|----------------------|----------|----------------|-----------------------|--------------------------|
| Acupuncture Clinic   | P                    | P        | P              | P                     | X                        |
| Ambulance Substation   | C                    | X        | X              | X                     | X                        |
| Antique Sales  | P                    | P        | P              | C                     | X                        |
| Appliance Store - Large                                      | P                    | P        | C <sup>1</sup> | X <sup>1</sup>        | X                        |
| Appliance Store - Small                                      | P                    | P        | P <sup>2</sup> | C <sup>2</sup>        | X                        |
| Arcade   | C                    | C        | C              | X                     | X                        |
| Artist Studio  | P                    | P        | P              | P                     | X                        |
| Auction House  | C                    | C        | C              | X                     | X                        |
| Automobile Rental Agency (with vehicle on site) <sup>3</sup> | C                    | C        | C              | X                     | X                        |
| Automobile Rental Agency (office with no vehicles on site)   | P                    | P        | P              | P                     | X                        |
| Automobile Repair Garage <sup>4</sup>                        | C                    | X        | X              | X                     | X                        |
| Automobile Service Station                                   | C                    | X        | X              | X                     | X                        |
| Automobile/Truck Sales, new and used (no vehicles on site)   | P                    | P        | P              | P                     | X                        |
| Automobile/Truck Sales, New and Used (vehicles on site)      | C                    | X        | X              | X                     | X                        |
| Automobile Painting  | C                    | X        | X              | X                     | X                        |
| Automobile Parts and Supply Store                            | P                    | P        | C              | X                     | X                        |
| Bakery, Retail   | P                    | P        | P              | C                     | X                        |
| Bar  | C                    | C        | C              | X                     | X                        |
| Barber or Beauty Shop  | P                    | P        | P              | P                     | X                        |
| Bicycle Shop   | P                    | P        | P              | P                     | X                        |
| Billiard Hall  | C                    | C        | C              | X                     | X                        |
| Bingo Game Operations (Non-profit organizations)             | X                    | X        | X              | X                     | X                        |

**Table 1  
PERMITTED LAND USE MATRIX -- CONTINUED**

| Use  | Commercial Mixed Use | Downtown | Campus Village | Residential Mixed Use | Residential (30 DU/Acre) |
|--|----------------------|----------|----------------|-----------------------|--------------------------|
| Book Store   | P                    | P        | P              | P                     | X                        |
| Bowling Alley  | C                    | C        | C              | X                     | X                        |
| Candy/Confectionary Store                                    | P                    | P        | P              | P                     | X                        |
| Car Wash   | C                    | X        | X              | X                     | X                        |
| Catering Service   | C                    | C        | C              | C                     | X                        |
| Check Cashing Service  | X                    | X        | X              | X                     | X                        |
| Church, Convent, Monastery, or other religious institution   | X                    | X        | X              | X                     | X                        |
| Clothing Sales and Rental                                    | P                    | P        | P <sup>5</sup> | P <sup>5</sup>        | X                        |
| Club or Lodge  | C                    | C        | C              | C                     | X                        |
| Coin Shop  | P                    | P        | P              | P                     | X                        |
| Community Care Facility                                      | P                    | P        | P              | P                     | P                        |
| Convalescent Home or Hospital                                | C                    | C        | C              | C                     | X                        |
| Dairy Products Store, Drive-in                               | C                    | C        | C              | X                     | X                        |
| Dance or Karate Studio                                       | P                    | P        | P              | C                     | X                        |
| Day Care Center  | C                    | C        | C              | C                     | X                        |
| Department Store   | P                    | P        | C              | C                     | X                        |
| Drug Store   | P                    | P        | P              | C                     | X                        |
| Dry Cleaning Plant or Laundry Service <sup>6</sup>           | C                    | X        | X              | X                     | X                        |
| Dry Cleaning Service (may include retail plant) <sup>6</sup> | P                    | P        | P              | C                     | X                        |
| Educational Institution, public or private                   | X                    | X        | C              | C                     | X                        |
| Emergency Shelter  | P <sup>10</sup>      | X        | X              | X                     | X                        |
| Financial Institution  | P                    | P        | P <sup>7</sup> | P <sup>7</sup>        | X                        |
| Florist Shop   | P                    | P        | P              | P                     | X                        |
| Fortune Telling Business                                     | X                    | X        | X              | X                     | X                        |
| Furniture Sales, Rentals, or Repairs                         | P                    | P        | P              | C                     | X                        |
| Garden Supply Store  | P                    | P        | P              | C                     | X                        |



**Table 1  
PERMITTED LAND USE MATRIX -- CONTINUED**

| Use                                  | Commercial Mixed Use | Downtown | Campus Village | Residential Mixed Use | Residential (30 DU/Acre) |
|--------------------------------------|----------------------|----------|----------------|-----------------------|--------------------------|
| Gift Shop                            | P                    | P        | P              | P                     | X                        |
| Grocery Store, Retail                | P                    | P        | P              | C                     | X                        |
| Hardware Store                       | P                    | P        | P              | C                     | X                        |
| Health Club                          | P                    | P        | P              | C                     | X                        |
| Hobby Supply Shop                    | P                    | P        | P              | P                     | X                        |
| Hotel or Motel <sup>4</sup>          | C                    | C        | C              | X                     | X                        |
| Interior Decorating or Drapery Shop  | P                    | P        | P              | P                     | X                        |
| Janitorial Service and Supplies      | P                    | P        | P              | X                     | X                        |
| Jewelry Sales                        | P                    | P        | P              | P                     | X                        |
| Laundromat                           | P                    | P        | P              | C                     | X                        |
| Library                              | C                    | C        | C              | C                     | X                        |
| Liquor Store <sup>4</sup>            | C                    | C        | C              | X                     | X                        |
| Massage Parlor                       | X                    | X        | X              | X                     | X                        |
| Medical/Dental Office or Clinic      | P                    | P        | P              | P                     | X                        |
| Mini-Market                          | C                    | C        | C              | X                     | X                        |
| Mortuary                             | C                    | C        | C              | X                     | X                        |
| Motorcycle Sales and Service         | C                    | C        | C              | X                     | X                        |
| Museum                               | C                    | C        | C              | C                     | X                        |
| Nursery School - see Day Care Center | C                    | C        | C              | C                     | X                        |
| Nursery                              | C                    | C        | C              | X                     | X                        |
| Office Equipment/Supply Store        | P                    | P        | P              | P                     | X                        |
| Parking Garage, Private              | C                    | C        | C              | C                     | X                        |
| Pawn Shop                            | X                    | X        | X              | X                     | X                        |
| Pet Shop                             | P                    | P        | P              | C                     | X                        |
| Pharmacy                             | P                    | P        | P              | C                     | X                        |
| Photocopy Business                   | P                    | P        | P              | P                     | X                        |

**Table 1  
PERMITTED LAND USE MATRIX -- CONTINUED**

| Use   | Commercial Mixed Use | Downtown          | Campus Village    | Residential Mixed Use | Residential (30 DU/Acre) |
|---|----------------------|-------------------|-------------------|-----------------------|--------------------------|
| Photographic Studio   | P                    | P                 | P                 | P                     | X                        |
| Playland Associated with a Restaurant   | C                    | C                 | C                 | X                     | X                        |
| Pool Sales, Service and Supplies  | C                    | C                 | C                 | C                     | X                        |
| Post Office Branch  | C                    | C                 | C                 | X                     | X                        |
| Printing and Publishing   | C                    | C                 | C                 | X                     | X                        |
| Professional Office   | P                    | P                 | P                 | P                     | X                        |
| Public Storage Facility (Mini-warehouse)  | C                    | C                 | C                 | X                     | X                        |
| Public Utility Service Office   | P                    | P                 | P                 | P                     | X                        |
| Public Utility Substation, Reservoir, or Pumping Plant, not including office        | X                    | X                 | X                 | X                     | X                        |
| Recording Studio  | C                    | C                 | C                 | X                     | X                        |
| Recreation Facility, public or private  | C                    | C                 | C                 | C                     | X                        |
| Recreational Vehicle Sales, Service, and Storage                                    | C                    | X                 | X                 | X                     | X                        |
| Residential: Mixed Use High Density   | C/X <sup>11</sup>    | C/X <sup>11</sup> | C/X <sup>11</sup> | C                     | X                        |
| Residential: High Density   | C/X <sup>11</sup>    | X                 | C/X <sup>11</sup> | P                     | P                        |
| Residential: Medium Density (Small Lot Single Family)                               | X                    | X                 | X                 | C                     | X                        |
| Restaurant, Drive-through, Fast Food, or with Outdoor Seating - see also "Playland" | C                    | C                 | C                 | X                     | X                        |
| Restaurant, Sit-down  | P                    | P                 | P                 | C                     | X                        |
| Restaurant, With Alcohol Sales <sup>4</sup>   | C                    | C                 | C                 | C                     | X                        |
| Retail Sales, General   | P                    | P                 | P <sup>4</sup>    | P                     | X                        |
| Reverse Vending Machine and Storage   | X                    | X                 | X                 | X                     | X                        |
| Satellite Dish Antenna <sup>4</sup>   | C                    | C                 | C                 | C                     | X                        |
| Shoe Repair/Sales   | P                    | P                 | P                 | P                     | X                        |
| Sign Painting Shop (within enclosed building - no spray booth)                      | C                    | C                 | C                 | X                     | X                        |
| Single-Room Occupancy Housing <sup>8</sup>  | C/X <sup>11</sup>    | X                 | C/X <sup>11</sup> | X                     | X                        |

**Table 1  
PERMITTED LAND USE MATRIX -- CONTINUED**

| Use  | Commercial Mixed Use | Downtown | Campus Village | Residential Mixed Use | Residential (30 DU/Acre) |
|--|----------------------|----------|----------------|-----------------------|--------------------------|
| Skateboard Park  | C                    | C        | C              | X                     | X                        |
| Skating Rink   | C                    | C        | C              | X                     | X                        |
| Sporting Goods Store, with firearms <sup>9</sup>       | C                    | C        | C              | X                     | X                        |
| Sporting Goods Store, no firearms                      | P                    | P        | P <sup>5</sup> | P <sup>5</sup>        | X                        |
| Stamp Shop   | P                    | P        | P              | P                     | X                        |
| Stationary Sales                                       | P                    | P        | P              | P                     | X                        |
| Stone, Rock, and Monument Yard                         | X                    | X        | X              | X                     | X                        |
| Tailor Shop  | P                    | P        | P              | P                     | X                        |
| Tanning Salon  | X                    | X        | X              | X                     | X                        |
| Tattoo Parlor  | X                    | X        | X              | X                     | X                        |
| Taxidermist  | X                    | X        | X              | X                     | X                        |
| Telegraph Office                                       | P                    | P        | P              | C                     | X                        |
| Television Repair Shop                                 | P                    | P        | P <sup>5</sup> | C                     | X                        |
| Temporary Storage Facility <sup>10</sup>               | C                    | C        | C              | X                     | X                        |
| Temporary Use (see Section 35, Division 10)            | P                    | P        | P              | P                     | P                        |
| Theater, Entertainment                                 | C                    | C        | C              | C                     | X                        |
| Theater, Movie   | C                    | C        | C              | C                     | X                        |
| Thrift Store <sup>12</sup>                             | X                    | X        | C              | X                     | X                        |
| Tobacco Shop   | P                    | P        | P              | P                     | X                        |
| Toy Store  | P                    | P        | P              | P                     | X                        |
| Travel Agency  | P                    | P        | P              | P                     | X                        |
| Truck and Trailer Sales, Rentals, and Service          | C                    | X        | X              | X                     | X                        |
| Upholstery Shop  | C                    | X        | X              | X                     | X                        |
| Variety Shop   | P                    | P        | P              | P                     | X                        |
| Vehicular Storage Yard                                 | X                    | X        | X              | X                     | X                        |
| Veterinarian Services, including Small Animal Hospital | P                    | P        | P              | C                     | X                        |
| Video Store  | P                    | P        | P              | C                     | X                        |

**Table 1**  
**PERMITTED LAND USE MATRIX -- CONTINUED**

KEY AND FOOTNOTES

**Key:**

X = not permitted

P = permitted

C = conditional use permit required

**Footnotes:**

- 1 - large appliance stores greater than 5,000 square feet
- 2 - small appliance stores up to 5,000 square feet
- 3 - subject to adequate parking for both rental vehicles and required parking spaces for on-site uses
- 4 - subject to additional special use standards in the Cypress Zoning Code
- 5 - 5,000 sq. feet or less is permitted; for over 5,000 sq. feet, conditional use permit is required
- 6 - subject to Air Quality Management District (AQMD) permit requirements
- 7 - 2,500 square feet or less is permitted; for over 2,500 square feet, conditional use permit is required
- 8 - subject to additional single-room occupancy standards in the Cypress Zoning Code
- 9 - subject to additional standards and review by Cypress Police Department
- 10 - subject to additional standards in the Cypress Zoning Code
- 11 – residential uses are not permitted on parcels within the Commercial Preservation Overlay Zone)  
(Specific Plan Amendment 2016-01)
- 12 – subject to the following standards:
  - a. Project site shall be greater than 1.2 acres
  - b. Lease space shall be minimum of 12,000 square feet
  - c. Thrift stores shall not be located within one half mile from another thrift store
  - d. All drop off/donation areas shall be enclosed.

## 4.5 Development Standards

This section establishes standards and regulations for development in all land use districts within the Specific Plan area. Any standards or regulations not specifically covered by this Specific Plan are subject to the regulations of the City of Cypress Zoning Ordinance. Unless otherwise specifically approved in this Specific Plan, all off-site improvements are subject to the City's policies and standards in effect at the time of approval of development plans.

### 4.5.1 Development Standards Matrix

Development standards for each land use district (zone) of the Lincoln Avenue Corridor Specific Plan are summarized in Table 2, *Development Standards Matrix*. In instances where these development standards conflict with the Zoning Ordinance, the Specific Plan will prevail. In instances where these development standards remain silent, the Zoning Ordinance will prevail.

### 4.5.2 Setbacks

Setbacks shall conform to the development standards of the Lincoln Avenue Corridor Specific Plan. Any structures, garden walls, planters, shrubs, trees, columns, signage and archways located within the setback shall be designed to maintain safe lines of sight for pedestrian and vehicular traffic. Monument signs may be located adjacent to the Lincoln Avenue right-of-way in the landscape setback if they conform to the Zoning Ordinance requirements. All setbacks will be measured from the public right-of-way of Lincoln Avenue or intersecting public streets. Setback areas should be fully landscaped in a manner complimentary to the pedestrian area, as well as the on-site architecture and landscape design components.

### 4.5.3 Landscape Setback Area

A proposed ten-foot wide landscape setback parallels the entire length of Lincoln Avenue immediately adjacent to the right-of-way on both sides of the street. Development within the landscape setback area shall be implemented according to the guidelines below.

**Table 2  
DEVELOPMENT STANDARDS MATRIX**

| General Requirements   | Campus Village [11]  | Commercial Mixed Use [11]                                      | Residential Mixed Use   | Downtown  | Industrial Light | Public & Semi-Public [11] | Mobile Home Park | R30 [9]       |
|--|--|--|---|---|------------------|---------------------------|------------------|---------------|
| Minimum Lot Area (square feet)   | 20,000   | 10,000   | 10,000  | 10,000  | 10,000           | 43,560                    | 871,200          | 10,000        |
| Minimum Lot Frontage (feet)  | 300  | 150  | 150   | 100   | 100              | 200                       | 250              | 100           |
| Maximum Floor Area Ratio (FAR)   | 0.5:1  | 0.5:1  | 0.5:1   | 0.5:1   | 0.5:1            | 0.5:1                     | 0.5:1            | N/A           |
| Maximum FAR with Density Bonus   | 1:1 [1]  | 1:1 [2]  |   |   |                  |                           |                  | N/A           |
| Maximum Building Height (feet)   | 50/30 [10]   | 50/30 [10]   | 50  | 35  | 35               | 50/30 [10]                | 35               | 50            |
| Minimum Building Façade located within Landscape Setback Area (%) [3]  | 25%  |  | N/A   | 50%   |                  |                           |                  | N/A           |
| Maximum Lot Coverage (%)   | —  | —  | —   | 60%   | 60%              | 40%                       | 75%              | —             |
| Minimum Front Setback (feet)   | 2 [4]  | 10   | 10  | 2   | 10               | 30                        | 6 [5]            | 10            |
| Maximum Front Setback (feet)   | 10 <sup>(6)</sup>  | —  | —   | 10  | —                | —                         | —                | —             |
| Minimum Side Setback (feet)  | 5  | 5  | 5   | 5   | 5                | —                         | 5                | 5             |
| Minimum Side Setback Adjacent to a Residential Zone (feet)   | 20   | 20   | 20  | 20  | 100              | 25                        | 20               | —             |
| Minimum Rear Setback (feet)  | 5  | 5  | 5   | 5   | 0                | 25                        | 3                | 5             |
| Minimum Rear Setback Adjacent to a Residential Zone (feet)   | 20   | 20   | 20  | 20  | 100              | —                         | 20               | —             |
| Maximum Dwelling Units (D.U.) Per acre (net)   |  |  |   |   |                  |                           | 7                |               |
| <ul style="list-style-type: none"> <li>• Mobile Home Park</li> <li>• Residential Mixed Use High Density</li> <li>• Residential High Density</li> <li>• Residential Medium Density</li> </ul> | <ul style="list-style-type: none"> <li>*</li> <li>*</li> </ul> | <ul style="list-style-type: none"> <li>*</li> <li>*</li> </ul> | <ul style="list-style-type: none"> <li>30 D.U. [7]*</li> <li>30 D.U. [7]*</li> <li>*</li> </ul> | <ul style="list-style-type: none"> <li>*</li> </ul> |                  |                           |                  | 30 D.U. [7]*  |
| Dwelling Unit Size for High Density Residential  |  |  |   |   |                  |                           |                  |               |
| <ul style="list-style-type: none"> <li>• Residential Mixed Use High Density</li> <li>• Residential High Density</li> <li>• Residential Medium Density</li> </ul>                             | <ul style="list-style-type: none"> <li>*</li> <li>*</li> </ul> | <ul style="list-style-type: none"> <li>*</li> <li>*</li> </ul> | <ul style="list-style-type: none"> <li>*</li> <li>*</li> <li>*</li> </ul>                       | <ul style="list-style-type: none"> <li>*</li> </ul> |                  |                           |                  |               |
| Minimum Private – Open Space [8]   |  |  | 200 S.F./Unit   |   |                  |                           |                  | 200 S.F./Unit |

**Table 2  
DEVELOPMENT STANDARDS MATRIX**

| General Requirements  | Campus Village   | Commercial Mixed Use   | Residential Mixed Use  | Downtown   | Industrial Light   | Public & Semi-Public | Mobile Home Park | R30 [9]  |
|---|--|--|--|--|--|----------------------|------------------|--|
| Setback between Parking Area and Property Line  | 10 feet landscaped, with 3-foot decorative screen wall located at rear of setback line | 10 feet landscaped, with 3-foot decorative screen wall located at rear of setback line | 10 feet landscaped, with 3-foot decorative screen wall located at rear of setback line | 10 feet landscaped, with 3-foot decorative screen wall located at rear of setback line | 10 feet landscaped, with 3-foot decorative screen wall located at rear of setback line |                      |                  | 10 feet landscaped, with 3-foot decorative screen wall located at rear of setback line |
| Minimum Distance between Buildings on Same Parcel (feet) for Non-Residential Uses [9] | *  | *  | *  | *  | *  | *                    | N/A              | N/A  |
| Minimum Distance between Buildings on Same Parcel (feet) for Residential Uses [9]     | *  | *  | *  | *  | N/A  | *                    | *                | *  |

\* Refer to the City of Cypress Zoning Ordinance.

- [1] Within the Campus Village, a floor area ratio bonus allowing a maximum FAR of 1:1 can be achieved only by development projects that contain: [1] a minimum lot area of one acre (net); and [2] a mixed use character consisting of at least two of the following uses: mixed-use high density residential, retail, restaurant, cultural/entertainment.
- [2] Within the Commercial Mixed Use district, a floor area ratio bonus permitting a maximum FAR of 1:1 can be achieved only by development projects that contain: [1] a minimum lot size of one acre (net); and [2] a mixed use character consisting of mixed-use high density residential with commercial.
- [3] Landscape Setback Area is the 10' area measured from the Lincoln Avenue public right-of-way. In no instances shall any building be located closer than 24" from the Lincoln Avenue public right-of-way.
- [4] Buildings may encroach into the 10' Landscape Setback Area, but no closer than 24" from the rear of the Lincoln Avenue public right-of-way. Such encroachments shall be consistent with the Design Guidelines, Section 5.0 of the Specific Plan. In no instance shall parking encroach into the 10' Landscape Setback Area.
- [5] At mobile home parks, an 8' decorative wall shall be provided at the rear of the front setback line, across the full length of the property where it fronts on Lincoln Avenue.
- [6] Within the Campus Village District, the maximum 10' front building setback has been eliminated (Amended 11-13-2006).

- [7] Minimum 20 DU/Acre (Amended 10-26-2009).
- [8] Includes private open space or shared open space. A minimum linear dimension of 50 feet shall be required for shared open space (Amended 10-26-2009).
- [9] Amended 10-26-2009.
- [10] Maximum non-residential and residential building heights are 50 feet and 30 feet, respectively. (Specific Plan Amendment 2016-01).
- [11] Amended 12/28/2016. (Specific Plan Amendment 2016-01)



- ❖ **General Downtown and Campus Village Guidelines.** Within the Downtown and Campus Village districts, buildings may be located within the 10-foot landscape setback area to strengthen the relationship between the building and pedestrian way. However, in no instance shall any building be located closer than 2 feet to the right-of-way. Whenever a building extends more than 4 feet into the landscape setback, the required row of street trees should be omitted and replaced with 5 gallon wall vines attached to the building facade and spaced at 6 feet on center. The remaining landscape setback between the right-of-way and building facade shall be planted with a groundcover consistent with the Streetscape Plant Palette identified in Section 6.2.1. Alternately, within the Campus Village and Downtown districts, decorative paving may be installed in lieu of groundcover bed and wall vines. In such instances, the developer will be required to install a colonnade along at least 75 percent of the building facade parallel to Lincoln Avenue. Refer also to Section 7.3 regarding development incentives and potential funding mechanisms.
  
- ❖ **General Guidelines – All Districts.** Parking areas located adjacent to landscape setbacks shall contain a low garden wall situated at the rear of the setback area. (Refer to "Garden Walls" in this section for requirements.) In these areas, the garden wall shall be foreplanted with a groundcover bed and a single row of 24-inch box street trees consistent with the Streetscape Plant Palette identified in Section 6.2.1 and spaced at 24 feet on center. In no instance shall parking areas encroach into the landscape setback.

Landscape setbacks that are bordered by buildings shall be planted with a groundcover bed and 24-inch box street trees consistent with the Streetscape Plant Palette identified in Section 6.2.1 and spaced at 24 feet on center. In addition, a hedge row of 5 gallon shrubs selected from the streetscape landscape palette shall be planted at the rear of the landscape setback.

Building materials for pedestrian archways, vehicular archways and garden walls located within the landscape setback should be constructed of concrete (with a sandblast finish), stucco, cut stone, metal (flat enamel color or natural satin finish) or wood (smooth finish with opaque stain). Colors should be light earth tones. Key elements (wall caps, rafters, beams and bollards plus column shaft, base, and capital) should appear to be monolithic units with no visible attachment to one another (i.e., dowels, pins, bolts, plates, etc.).

#### 4.5.4 Circulation Plan

The Circulation Plan includes the three primary modes of travel within Lincoln Avenue Corridor Specific Plan area:

- ❖ Vehicular Circulation
- ❖ Mass Transit
- ❖ Pedestrian Circulation

##### ***Vehicular Circulation***

Vehicular access to the Specific Plan area is from Lincoln Avenue and the major arterials which bisect the corridor including; Moody Street, Grindlay Street, Walker Street and Valley View Street.

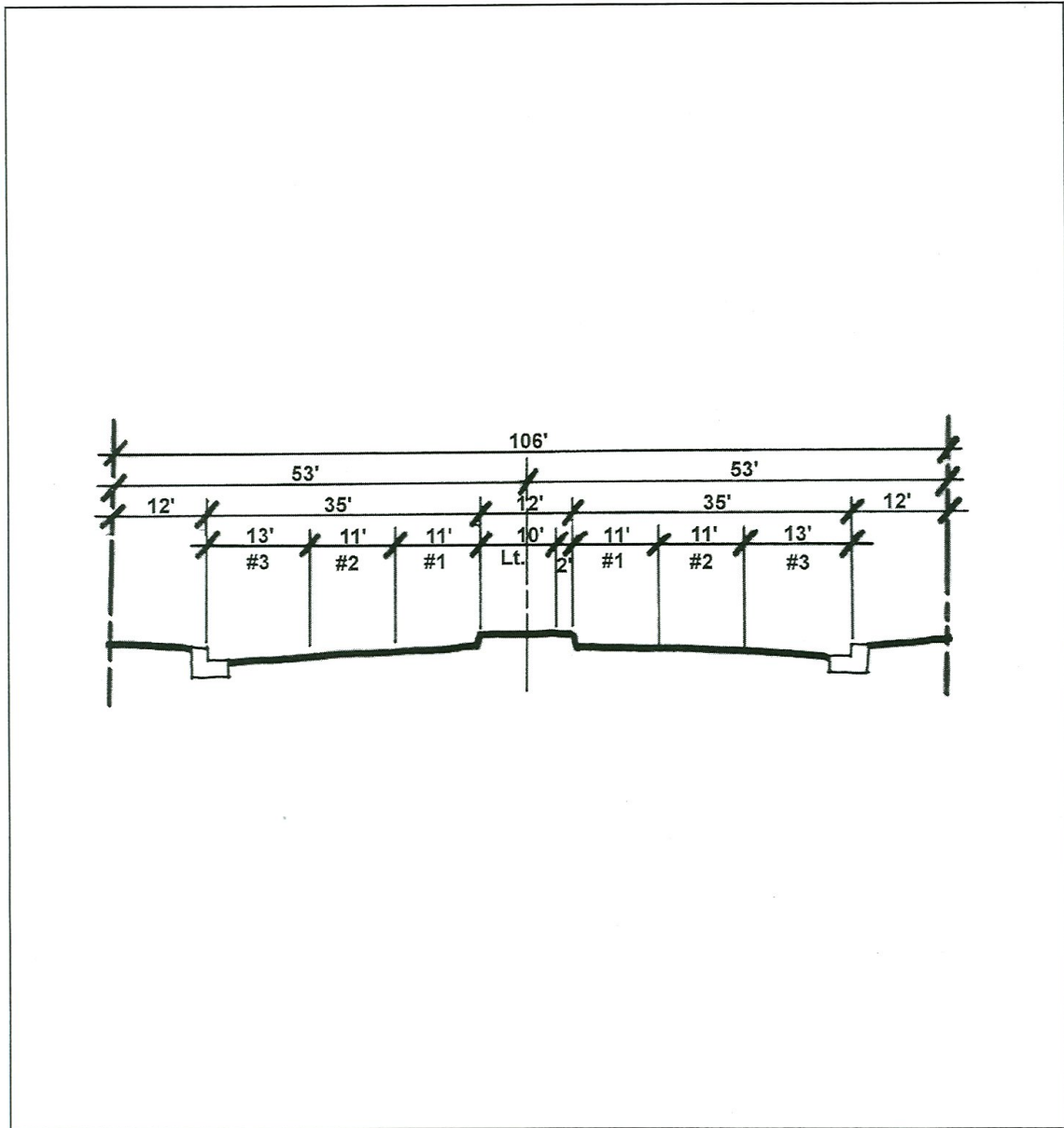
Lincoln Avenue is a major east-west arterial, currently configured with four travel lanes divided by a raised landscaped median. Typical intersections along Lincoln Avenue operate below capacity. The General Plan indicates there is an average of 23,000 trips per day, with a capacity for 37,500 trips (LOS E). Lincoln Avenue is also a designated truck route.

In November, 1997 the Cypress City Council adopted a modification to the Lincoln Avenue cross-section. The modification maintains a 106' foot right of way for a six lane divided roadway, but eliminates a five foot bike lane along each side of the roadway and reduced the width of the center median. Deletion of the bike lanes allow for an extensive streetscape enhancement of Lincoln Avenue wherein the parkways are maintained at a width of twelve (12) feet and no additional right of way is required from adjacent properties. The ultimate cross-section for Lincoln Avenue is depicted in Exhibit 4, *Lincoln Avenue Cross-Section*.

##### ***Access Drives***

Driveway entry throats and vehicular circulation aisles shall be identified by usage/need, as determined by the City. Parcels shall be permitted one curb cut per every 150 feet of street frontage, but in no instance shall exceed two curb cuts per street frontage. Curb cuts shall be located a minimum distance of 150 feet from a curb cut located on an adjacent parcel. The Director may modify this requirement for narrow lots.

Dimensions of access drives shall be as required by Section 25 (Off-Street Parking and Loading) of the City of Cypress Zoning Ordinance. In addition, driveways that provide access to parking lots with 100 spaces or more shall



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**Lincoln Avenue Cross-Section**

provide a landscaped median a minimum of 6 feet wide and 20 feet long. Additional improvements may also be required through the discretionary approval process.

***Shared Access Incentive***

Where possible, adjoining developments are encouraged to provide joint use access driveways in order to reduce the number of driveways along Lincoln Avenue. This will reduce the opportunities for turning movements and increase traffic safety.

In order to encourage the provision of shared access, the City may offer an incentive in the form of a reduced parking requirement of up to 10 percent. An incentive parking reduction may be allowed through the approval of a Conditional Use Permit in compliance with the requirements of the Zoning Ordinance.

***Lot Consolidation Incentive***

The existence of small, substandard lots throughout the Specific Plan area is often a hindrance to efficient contemporary development. Small lots have difficulty providing ample parking, circulation areas, areas of significant landscaping and other amenities. In order to encourage the consolidation of smaller lots into larger development sites, the City may provide incentives as outlined in Section 7.3.1 of this Specific Plan. The incentives provided shall be in proportion to the number and size of lots that are consolidated.

***Public Transit***

The Orange County Transportation Authority (OCTA) retains the rights to the Southern Pacific rail line, which bisects the Lincoln Avenue Corridor, as a potential future urban rail line. Although OCTA currently has no plans to move forward with an urban rail line through Cypress, OCTA has initiated pilot open space programs along the rail line right of way. The potential exists for a pilot program site in Cypress which may be linked to the project area.

If in the future OCTA should initiate plans for a rail line through the Lincoln Avenue Corridor, potential train station sites may include areas in proximity to the Campus Village and Downtown districts. These locations are excellent linkages to the pedestrian oriented uses and provide enhanced multi modal options to access the planning area.

The current mass transit system which is expected to remain most active in the coming years is the OCTA bus service along Lincoln Avenue. Service is expected to continue at its current level.

### ***Pedestrian Circulation and Incentive***

The Specific Plan is intended to encourage pedestrian activity along Lincoln Avenue with various amenities and design features to enhance pedestrian access and circulation. Clear, safe and convenient pedestrian connections shall be provided between building entries and parking areas, site access locations, adjacent bus stops and public sidewalks.

In order to encourage the provision of amenities within private development sites, the City may offer development incentives as outlined in Section 7.3.1 of this Specific Plan. The following pedestrian amenities are strongly encouraged.

- ❖ Pedestrian courtyards and plazas
- ❖ Benches and trash receptacles
- ❖ Shade trees and other enhanced landscaping
- ❖ Pedestrian level lighting
- ❖ Water features
- ❖ Outdoor dining areas

### **4.5.5 Parking**

Parking shall be regulated by the City of Cypress Zoning Ordinance as well as by the following guidelines. Off-street parking shall be provided consistent with Section 25 of the City of Cypress Zoning Ordinance. Parking waivers, as specified in the Zoning Ordinance, shall be permitted subject to review and approval by the City Council. To obtain a parking waiver, the applicant shall clearly demonstrate that adequate parking and circulation will be available on-site. Shared parking arrangements are strongly encouraged and shall be permitted through a Conditional Use Permit, provided the applicant clearly demonstrates that adequate parking will be available.

Parking shall be designed to minimize the visibility of large paved areas through generous plantings of trees and shrubs. Parking areas shall be landscaped in accordance with Section 25.17 of the City of Cypress Zoning Ordinance.

At least one designated bicycle parking area shall be provided for each project. Bicycle parking areas shall be located adjacent to the pedestrian walkway area and contain bicycle racks.

#### **4.5.6 Loading and Storage Areas**

The location, number and size of loading spaces required shall be specified by the City through the review of project applications.

Loading areas shall be designed to accommodate complete backing and maneuvering on the site, without impacting the pedestrian walkway area or a public street. All loading and storage areas within clear view from public street and/or open space areas shall be effectively screened whenever possible. Screening shall be with walls and landscaping aesthetically compatible with the site architecture, pedestrian walkway area and landscape setback area.

#### **4.5.7 Refuse Collection and Storage**

Outdoor refuse enclosures shall be provided in compliance with Section 7.9 of the City of Cypress Zoning Ordinance. The colors and materials used shall be visually compatible with the site's architectural character. Enclosures shall be of sufficient height to completely screen the bins within and should include a painted steel gate to screen all refuse containers from adjacent parcels and the pedestrian walkway areas.

#### **4.5.8 Environmental Controls**

Any permitted industrial uses shall be performed or carried out entirely within a building or a screened portion of the site so that the enclosed operations and uses do not cause or produce a nuisance or visual distraction or health and safety hazard to adjacent sites or public rights-of-way.

All planned night uses shall take into consideration the site's proximity to nearby residential land uses and arrange proposed site elements and activities to minimize the potential impact of noise and light glare onto nearby residential areas.

#### **4.5.9 Utilities and Mechanical Devices**

Exterior on-site utilities including, but not limited to, irrigation and drainage systems, gas lines, water lines and electrical, telephone and communications wires and equipment, shall be installed and maintained underground, appropriately screened from public view, or located in the rear portion of development parcels where they will not be visible from the pedestrian walkway area.

All exterior mechanical equipment, including HVAC, electrical components, storage tanks, and satellite dishes shall be screened from off-site view. Screening elements shall be fully integrated into the architectural character of the site. Roof mounted equipment shall not extend above the parapet and no equipment shall be visible within a horizontal line of sight from adjacent parcels or public rights-of-way.

On-site transformers should not be placed within the building setback, nor where visible from the pedestrian walkway area. Transformers should be screened with screen walls and/or landscaping or located in underground vaults.

#### **4.5.10 Grading and Drainage**

Storm water from roof downspouts should not drain into landscape areas. Grades should be designed to minimize warping and abrupt changes. Design efforts should attempt to achieve grades between 1.0 and 2.5 percent whenever possible. Berming is permitted in perimeter parking lot landscape areas.

#### **4.5.11 Height of Unoccupiable Structures**

Unoccupiable structures (ground mounted flag poles, towers, etc.) shall not exceed 40 feet in height.

#### **4.5.12 Legal Nonconforming Uses, Structures, Parcels, Signs**

All legal uses, structures, parcels and signs in place prior to adoption of the Lincoln Avenue Specific Plan which do not conform shall be deemed nonconforming, and shall be permitted to remain in place subject to the following provisions.

##### ***Nonconforming Status***

An existing use shall be deemed a "legal nonconforming use" if prior to its establishment, the required permits were obtained (e.g., a Building Permit, Conditional Use Permit, etc.). Structures and uses not having acquired the proper permits shall be considered "illegal" and shall not be afforded the provisions of this section.

##### ***Intent and Purpose***

This section is established to limit the number and extent of nonconforming uses within the specific plan area by prohibiting or limiting their enlargement, their re-establishment after abandonment, and the

alteration or restoration after destruction of the structure they occupy. While permitting the use and maintenance of existing nonconforming structures, this section is also established to limit the number and extent of nonconforming structures by prohibiting their being moved, altered or enlarged in a manner that would increase the discrepancy between existing conditions and the standards prescribed in this specific plan, and by prohibiting their restoration after destruction.

### ***Continuation and Maintenance***

A use lawfully occupying a structure or site that does not conform with the use regulations or the site development standards of this specific plan which is a legal nonconforming use may be continued, except as otherwise provided in this section. A structure that lawfully occupies a site and that does not conform with the development standards for front yards, side yards, rear yards, height, coverage or distances between structures stipulated in this specific plan may be continued, except as otherwise provided in this section. Routine maintenance and repairs may be performed on a structure or site when the use or structure is legal nonconforming.

### ***Nonconforming Statue Tied to Property***

Restrictions and conditions affecting nonconforming uses and structures shall apply to existing uses, buildings and structures and shall not be affected by ownership changes.

### ***Revocation of Privileges***

Whenever the use, maintenance or continuation of nonconforming conditions or use is granted through the means of Conditional Use Permits, Variances, Design Review, Extensions, Expansions or other approved changes, the same may be revoked by the Planning Agency whenever the Agency finds: 1) that the term or conditions of the approval are being violated; or 2) that the condition or use of the property constitutes a public nuisance; or 3) that the health, safety or general welfare of the surrounding property owners or residents is being threatened by the continuation of said nonconforming use or condition. The revocation process may be initiated by order of the Planning Agency. The property owner shall be notified of the commencement of the revocation process pursuant to Section 25, Division 2 (Notice and Conduct of Public Hearings) of the City of Cypress Zoning Code.



***Exceptions – Public Utility Facilities and Uses***

Nothing in this section pertaining to nonconforming uses and structures shall be construed or applied so as to require the termination, removal or so as to prevent the modernization, replacement, repair, maintenance, alteration or rebuilding of public service and public utility buildings, structures, uses, equipment and facilities; provided that there is no change or increase of those areas to be used.

# LINCOLN AVENUE SPECIFIC PLAN

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**949/472-3505**

December, 1998

JN 34793

## 5.0 DESIGN GUIDELINES

This Section sets forth the necessary design guidelines for the consistent promotion of high quality, well-designed developments throughout the Specific Plan Area. The design guidelines are composed of written statements and graphic illustrations which articulate the City's goals and basic design philosophy for the Specific Plan Area. The guidelines establish the policies and concepts for good design and quality development. They are intended only for new development or owner initiated building modifications/renovations as provided in Section 5.1 which follows. These guidelines do not apply to existing improvements that are remaining unchanged.

"Quality development" as used within the context of this document shall mean development which is in accordance with the development standards and design guidelines set forth in this Specific Plan.

The design guidelines contained in this section have been formulated to address the goals and policies as stated in the Planning Framework section of this Specific Plan.

### 5.1 Purpose

The purpose of these design guidelines is to provide design concepts and policies for quality development throughout the Specific Plan area. The design guidelines contained herein are applicable whenever any of the following occur:

- ❖ Any new development for which a building permit is required.
- ❖ Any addition to or enlargement of an existing structure or use.
- ❖ Any change of use or reuse where City approval is required and established after a vacancy of 6 months or more.

In the event that proposed modifications affect more than 60 percent of any facade visible from a public parking area or public right-of-way, the applicant shall be required to comply with all portions of the design guidelines for the entire facade and all landscaping, parking, and signs on the site. An applicant changing only a portion of an existing building facade (e.g., door, awning, window, etc.) need only comply with the guidelines and standards related to the portion changed and to directly related portions. In addition, activities not required to apply for a building permit, such as, repairs, are encouraged to follow the guidelines to the greatest degree possible.

Implementation of the design guidelines will be through the City's Design Review process as described in Section 35 of the Zoning Ordinance. The Design Review Committee will review planned improvements to ensure compatibility with the guidelines and standards of the Specific Plan. In making its design findings on applicable projects, the Design Review Committee shall utilize, and make reference to, the guidelines contained herein. Conditions of approval may be imposed by the approving authority.

## 5.2 Overview of the Design Concept

The design plan for Lincoln Avenue creates an environment that will enhance the unique qualities of the Campus Village and Downtown Districts, while maintaining a visually cohesive image throughout the entire stretch of Lincoln Avenue from Coyote Creek Channel on the west and to Holder Street on the east.

A primary focus of the Specific Plan is to enhance the aesthetic qualities of the Lincoln Avenue Corridor and to make the area more pleasant, attractive and functional. These objectives are largely achieved through the implementation of design guidelines and streetscape improvements.

The design plan is comprised of two components: 1) design guidelines that describe general site development requirements for parcels within the Lincoln Avenue Specific Plan Area; and 2) design concepts that depict specific streetscape elements within the Lincoln Avenue right-of-way. Site development guidelines describe minimum standards for such components as parking, lighting, signage, architectural character and landscaping, while permitting individual landowners the latitude to create their own unique project identity. This design strategy will ensure that future development along Lincoln Avenue adheres to a standard of quality appropriate for such an important corridor.

The visual character along Lincoln Avenue is intended to vary slightly between planning areas according to development intensity and the anticipated level of pedestrian activity. For example, at the east and west ends of the Corridor, the visual image is characterized by a park-like setting created with generous plantings of trees arranged in random masses on both sides of the street. This pastoral character transitions into a more organized arrangement of street trees that serve as a foreground to the commercial mixed use districts.

Within the Commercial-Mixed Use and Residential Mixed Use district's, a formal allee of street trees creates a coherent visual theme and encourages active pedestrian circulation between the various land use components. Pedestrian character is highlighted with bow out planters, seating nodes and raised masonry planters. In addition, pedestrian archways are provided to accentuate site access and linkages to open space components.

Within the Downtown District, the streetscape is defined by a distinctive urban design character (early 20<sup>th</sup> century: “Arts and crafts” or “Prairie” style). Whenever feasible, buildings should be placed on or near the public walkway. A close-in, village scale is desirable, enhanced with a formal row of street trees.

Visual image for the Campus Village creates a festive urban character, highlighted by plazas, courtyards and a pedestrian friendly environment designed to accommodate daytime and evening activity. Architectural character of this area reflects the elegance and grandeur of the existing college facilities.

Exhibits 5a through 5f depict conceptual development cross-sections at various locations along the corridor that could result from implementation of this Specific Plan.

## 5.3 General Design Guidelines

### 5.3.1 General Design Principles

#### *Desirable Elements of Project Design*

The qualities and design elements for all districts that are most desirable include:

- ❖ Articulated mass and bulk
- ❖ Significant landscape and design elements
- ❖ Enhanced access driveways
- ❖ Enhanced paving
- ❖ Landscaped and screened parking
- ❖ Durable and classic building materials and finishes, i.e., brick, dressed stone, precast concrete, iron and smooth stucco
- ❖ A comprehensive sign program
- ❖ Richness of surface and texture
- ❖ Significant wall articulation (insets, hardscape canopies, wing walls, trellises, porches, etc.)
- ❖ Multi-planed, pitched roofs
- ❖ Roof overhangs, arcades
- ❖ Regular or traditional window rhythm

### ***Undesirable Elements***

The elements to avoid or minimize include:

- ❖ Large blank, unarticulated wall surfaces
- ❖ Unpainted concrete precision block walls
- ❖ Highly reflective surfaces
- ❖ Metal siding on the main facade
- ❖ Plastic siding
- ❖ Square “boxlike” buildings
- ❖ Mix of unrelated styles (i.e., rustic wood shingles and polished chrome)
- ❖ Large, out of scale signs with flashy colors
- ❖ Visible outdoor storage, loading and equipment areas
- ❖ Disjointed parking areas and confusing circulation patterns

#### **5.3.2 General Architectural Guidelines**

Architectural design concepts should incorporate the principle elements of a contemporary design vocabulary in terms of the basic massing, shape and character rather than a particular style’s commonly perceived detail and ornament. Architectural character should not attempt to replicate period styles such as Spanish or Mission-Style.

Appropriate design strategies include fragmenting the overall building plane into smaller or multiple structures, creating shadow lines and patterns, and integrating the landscape with building design through use of components such as planter walls, wall vines and foundation plantings. All design elements should appear integrated into the overall project concept. Designs that appear arbitrary or are inconsistent in form or composition are not acceptable.

Building massing should possess a balance in form and composition. Large, flat, unarticulated building elevations are not permitted. Building facades should have a strong relationship to a human scale, particularly at building entrances.

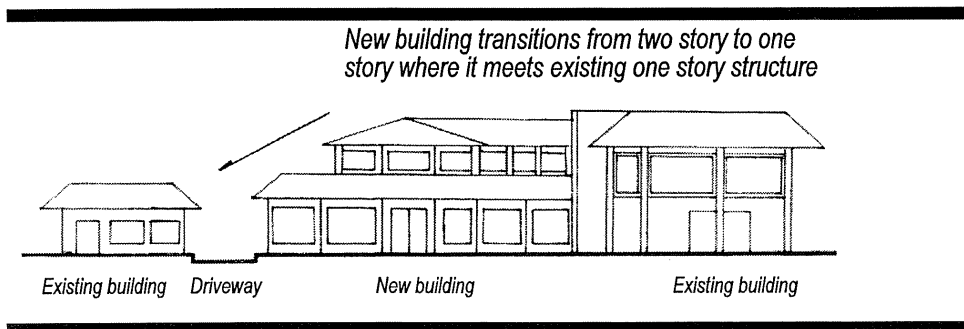
Vertical supports (columns, piers, fin walls, etc.) should utilize mass that is visually balanced with the loads that they carry. Whenever possible, connections between vertical and horizontal supports should be expressed as design features rather than hidden on the interior of a flat building wall.

A relationship between site and building should be firmly established. Site features that create a link to the building and develop a sense of place will be integrated into every project. Examples include entry courts, and pedestrian plaza areas, colonnades and pedestrian archways.

### ***Height/Mass***

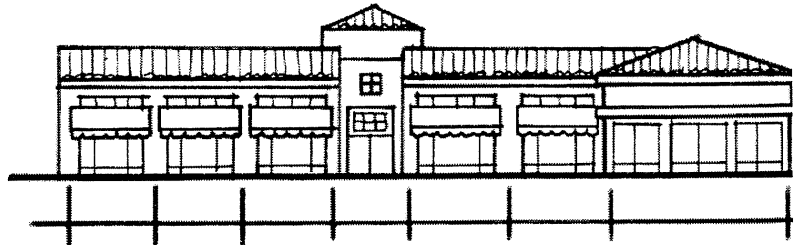
While allowable heights vary between districts, building heights on each site should relate to surrounding open space to allow maximum sun and ventilation, and to enhance public views from adjoining structures.

- ❖ Height and scale of new developments should be compatible with that of surrounding developments. New development is encouraged, where practical, to “transition” from the height of adjacent development to the maximum height of the proposed building.



- ❖ Large buildings which give the appearance of “boxlike” structures are generally unattractive and distort the overall scale of an area. There are several ways to reduce the appearance of excessive mass in large buildings.
  - ◆ Vary the planes of the exterior walls in depth and/or direction. Wall planes should not run in one continuous direction for more than 50 feet without an offset.
  - ◆ Vary the height of the building so that it appears to be divided into distinct massing elements.
  - ◆ Articulate the different parts of a building’s facade by use of color, arrangement of facade elements, or a change in materials.
  - ◆ Use landscaping and architectural detailing at the ground level to lessen the impact of an otherwise bulky building.

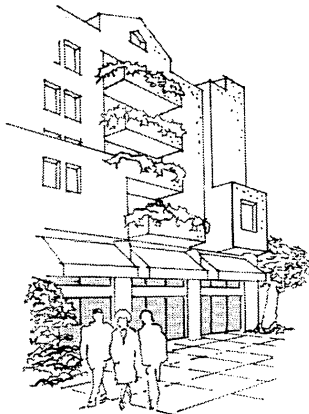
- ◆ Avoid blank walls at the ground floor level. Utilize windows, trellises, wall articulation, arcades, change in materials, or other such features.



*Provide consistent massing*

### Scale

Scale, for purposes here, is the relationship between building size and the size of adjoining permanent structures. It is also how the proposed building's size relates to the size of a human being. Large scale building elements will appear imposing if they are situated in a visual environment of a smaller scale.



*Use of smaller architectural elements on large buildings bring the mass down to a pedestrian scale*

- ❖ Building scale can be reduced through window patterns, structural bays, roof overhangs, siding, awnings, moldings, fixtures, and other details.
- ❖ The scale of buildings should be carefully related to adjacent pedestrian areas (i.e., plazas, courtyards) and buildings.



- ❖ Large dominating buildings should be broken up by: 1) creating horizontal emphasis through the use of trim; 2) adding awnings, eaves, windows, or other architectural ornamentation; 3) use of combinations of complementary colors; and 4) landscape materials.

### ***Color***

Color palettes should be predominantly pastel earth tones with a moderate use of subtle color accents. Exterior wood may be used, but will be of a smooth finish and painted with a solid base opaque sealant.

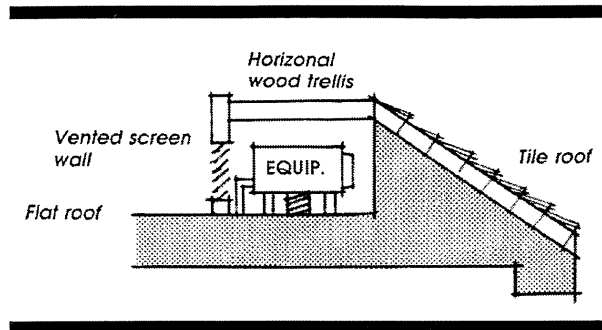
- ❖ Large areas of intense white color should be avoided. While subdued colors usually work best as a dominant overall color, a bright trim color can be appropriate.
- ❖ The color palette chosen for a building should be compatible with the colors of adjacent buildings. An exception is where the colors of adjacent buildings strongly diverge from these design guidelines.
- ❖ Wherever possible, the number of colors appearing on the building exterior should be minimized. Small commercial buildings should use no more than three colors.
- ❖ Architectural detailing should be painted to complement the facade and tie in with adjacent buildings.

### ***Roofs***

Roof forms should be expressed as attractive design elements. Full roofs are encouraged and mansard roofs are strongly discouraged. Built-up or membrane roofing should be effectively screened on all sides by the building parapet. Parapet height will equal or exceed the height of highest point of roofing.

- ❖ The roofline at the top of the structure should not run in a continuous plane for more than 100 feet without offsetting or jogging the roof plane.
- ❖ All rooftop equipment shall be screened from public view by screening materials of the same nature as the building's basic materials. Mechanical equipment should be located below the highest vertical element of the building.

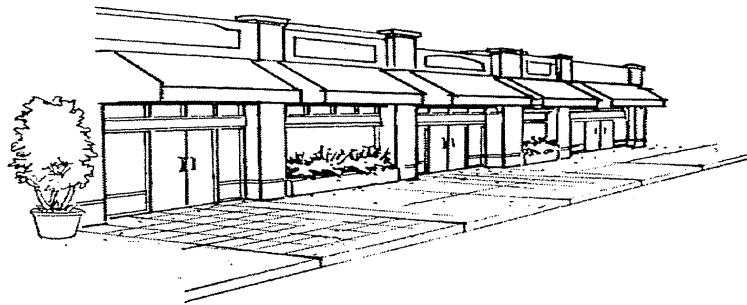
- ❖ The following roof materials are not generally acceptable:
  - ◆ Corrugated metal
  - ◆ High contrast or brightly colored glazed tile
  - ◆ Highly reflective surfaces
  - ◆ Illuminated roofing



### *Awnings*

The use of awnings along a row of contiguous buildings should be restricted to awnings of the same form and location. Color of the awnings can vary, and a minimum eight-foot vertical clearance to the sidewalk below is required.

- ❖ The awning should be well maintained, washed regularly, and replaced when frayed or torn.
- ❖ Signs on awnings should be painted on the awnings themselves and should be restricted to the awning's flap (valance) or to the end panels of angled, curved, or box awnings. In shopping centers with more than two tenants, awning signs are allowed only as a coordinated program.
- ❖ Plexiglas, metal, and glossy vinyl illuminated awnings are discouraged. Canvas, treated canvas, matte finish vinyl, and fabric awnings are desirable.



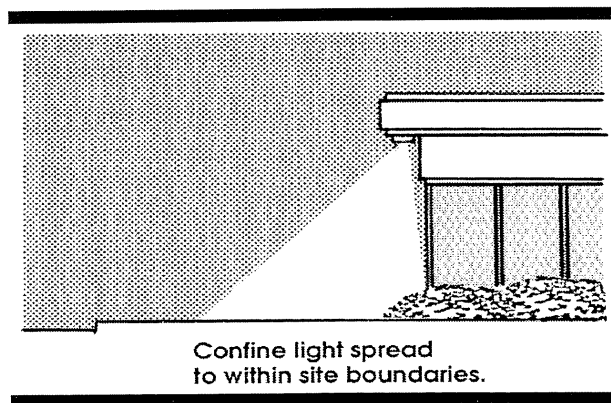
- ❖ Internally illuminated awnings are not encouraged, however, a consistently designed illuminated awning program for a shopping center will be reviewed on a case-by-case basis. No signs will be allowed on the shed portion of the awning in this case.
- ❖ Care should be taken so that awnings do not obstruct the view to adjacent businesses.

### ***Lighting***

A carefully conceived architectural lighting scheme is required for each project. Project illumination by means of source shielded up-lighting, wall washing and/or internal building lighting that spills outside is encouraged. Lighting fixtures should be complimentary to the overall project design.

On-site lighting systems should be designed and installed so as not to cast any glare onto adjacent lots or streets, decreases the ambience of adjacent areas, nor reduce the safety of pedestrian and vehicular movement.

Service area lighting should be contained within the service yard boundaries. Shielded light sources are required. "Wall mounted" type fixtures should be limited solely to service areas not visible from the street. For areas that may be visible, building mounted or pole mounted downlighting should be substituted. All signs should be illuminated by means of ground mounted or wall mounted light fixtures.



All parking areas and on-site vehicular circulation area lighting fixtures should be of the sharp cut-off type. Fixture design should be uniform throughout a project. These fixtures should be mounted at a maximum height of 30 feet and not higher than adjacent buildings.

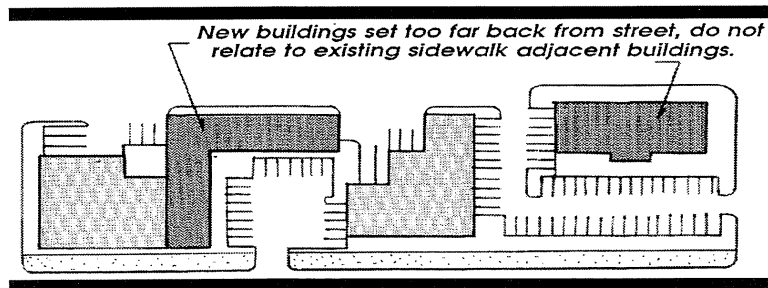
Area illumination should be provided for entry areas, courtyards and other pedestrian gathering places. Point-to-point lighting should be provided for pedestrian walkways.

### 5.3.3 General Site Planning Guidelines

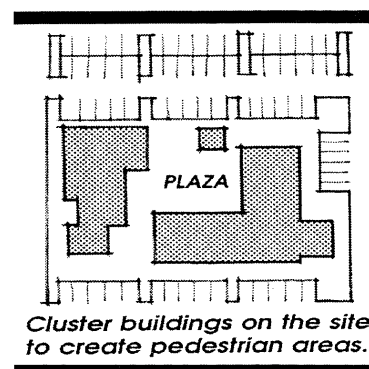
Placement of buildings should consider the existing built context of the area, as well as the designated district within the Specific Plan and that district's characteristics. The location of any incompatible land uses, the location of major traffic generators, and an analysis of a site's characteristics and particular influences should also be considered.

#### ***Building Location***

- ❖ Buildings should be sited in a manner that will complement adjacent buildings. Building sites should be developed in a coordinated manner to provide order and diversity, and avoid a jumbled, confused development.



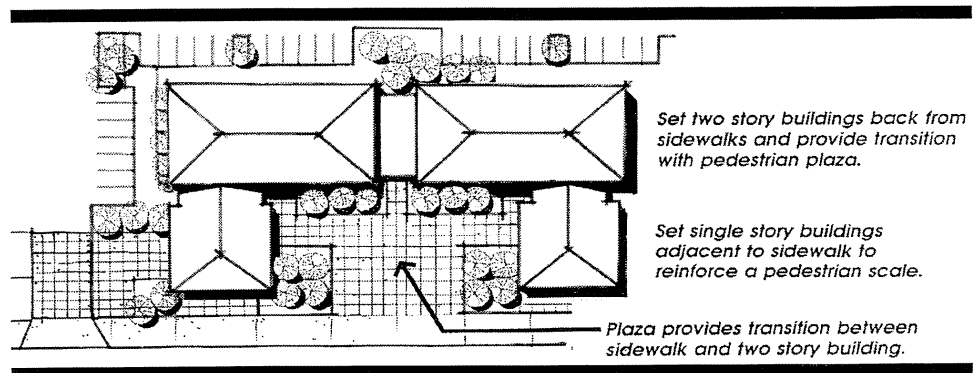
- ❖ Clustering three or more buildings in a shopping center provides opportunities to create plazas or pedestrian malls and prevents long "barracks-like" rows of buildings. When clustering is impractical, a visual link between separate buildings should be established. This link can be accomplished through the use of an arcade system, trellis, or other open structure and textured walkways.



- ❖ Buildings and on-site circulation systems shall be located to minimize pedestrian/vehicle conflicts. Link buildings to the public sidewalk where possible with enhanced paving, landscaping, and trellises.

### ***Open Space***

- ❖ Recognize the importance of spaces between buildings as “outdoor rooms” on a shopping center site. Outdoor spaces should have clear, recognizable shapes that reflect careful planning and are not simple “left over” areas between buildings. Such spaces should provide pedestrian amenities such as shade, benches, fountains, etc.



- ❖ Open space areas should be clustered into larger, predominant landscape areas rather than equally distributed into areas of low impact such as building peripheries, behind a structure, or areas of little impact.

### ***Other***

- ❖ Creation of mid-block pedestrian paseos are encouraged throughout the Specific Plan area, but particularly within the Downtown District.
- ❖ Loading facilities should not be located at the front of commercial buildings where it is impossible to screen them from view. Such facilities are more appropriate at the rear of the site where special screening may not be required.

### **5.3.4 Special Design Features**

The Lincoln Avenue Corridor incorporates a wide variety of building designs in terms of architectural style, scale and mass. As a result, the visual character of the street is one of incompatibility and disharmony. The proposed

streetscape improvements (landscaping, lighting and street furniture) will provide a unifying design element for the street and help regain a sense of visual harmony.

Another method of creating visual harmony along the street is to provide a variety of similar, yet distinctive architectural design features along the street frontage. Features that may be provided include pedestrian archways, colonnades and vehicular archways (see Exhibits 6a, 6b and 6c, *Design Feature Examples*, for pictorial and graphic examples of these types of features).

In order to encourage the provision of pedestrian archways, colonnades and vehicular archways, the City may provide a variety of incentives in compliance with Section 7.3.1 (Development Incentives). To qualify for a development incentive, the proposed architectural features must contribute to the overall visual character of the development in a positive manner, be compatible with the development's overall architectural style and design details, and further enhance the accommodation of pedestrians on the site by providing connections to adjacent developments, shade structures and comfortable places to sit. The specifics of each design feature is discussed below.

### ***Pedestrian Archways***

Pedestrian archways are intended to enhance access points from the pedestrian walkway area to plazas, courtyards, parking areas and other site components. Typical pedestrian archway structure examples are provided in Exhibit 7, *Pedestrian Archway Options*.

Pedestrian archways should consist of column supports and an overhead archway element that is compatible with the architectural design of the overall project. In order to be compatible, pedestrian archways shall incorporate the same or similar architectural details, colors and materials as provided for the main structure(s). Pedestrian archways shall define a minimum clearance that is 4 feet-6 inches wide and 8 feet high.

### ***Colonnades***

"Colonnade" refers to the entire assembly of components (columns, beams, rafters) that create a shade structure above a pedestrian walkway. Colonnades are intended to enhance the Pedestrian Walkway Area that is located adjacent to Lincoln Avenue, to create comfortable pedestrian zones adjacent to buildings, and to extend a project's architectural character closer to the street. Colonnades may be located in any on-site pedestrian area or in the Landscape

Setback Area. Colonnades should be 8 to 10 feet in width with a minimum height clearance of 8 to 10 feet to the lowest overhead component. Colonnades should be compatible with the overall architectural design of the primary structures in terms of architectural details, colors and materials.

### ***Vehicular Archways***

Vehicular archways are intended to enhance access drives, create a visual separation between parking areas and pedestrian zones, and extend a project's architectural character closer to the street. Typical vehicular archway examples are provided in Exhibit 8, *Vehicular Archway Options*.

Vehicular archways should consist of column supports and an overhead archway element that is compatible with the architectural design of the overall project in terms of architectural details, colors and materials. Vehicular archways should provide a minimum clearance that is 12 feet-6 inches high.

### **5.3.5 Garden Walls (Within Landscape Setback)**

Garden walls located within the landscape area are intended to buffer views to parking lots. Typical garden wall examples are provided in Exhibit 9, *Garden Wall Options*. Garden walls should be located at the rear of the 10 foot landscape setback and will conform to the general guidelines described below. Garden walls should be fully integrated into the architectural design by using materials and colors similar to other site structures.

Garden walls should be comprised of two distinct components - a wall segment and columns. When located in the landscape setback the wall segment shall be 30 to 36 inches in height and 8 inches deep with low columns spaced a maximum distance of 12 feet on center. Columns may be the same height as the wall segment of extent up to 6 inches above the wall. For projects that incorporate columns into the design of buildings, colonnades, shade structures or other site elements, garden walls shall utilize low columns similar in colors, materials and design style to the base portion of the other site columns. In lieu of low columns, bollards or accent planters may be incorporated into the wall design at the required 12-foot spacing.

### **5.3.6 Screen Walls, Fences, and Retaining Walls (Outside the Landscape Setback)**

Screen walls located outside of the landscape setback are intended to buffer views to service areas, loading docks, mechanical equipment, trash dumpsters and other unsightly components that are located in such a manner that they

cannot effectively be screened by plant material alone. Screen walls should be located at the rear of landscape setbacks, but should not be located adjacent to the 10-foot Landscape Setback Area fronting Lincoln Avenue. Screen walls will conform to the general guidelines described below.

Screen walls will be tall enough that the screened element is not visible within a horizontal line of sight from any public right-of-way. These walls should not exceed 6 feet in height. However, screen walls may be constructed up to 12 feet tall at loading docks or truck parking areas provided that they are a minimum distance of 2 feet behind the landscape setback for every 1-foot of height over 6 feet.

A minimum 18-inch wide planting bed shall be located on the street side of the screen wall and planted with groundcover and a wall vine selected from the master plant list.

Screen walls should be comprised of two distinct components - a wall segment and columns. Columns should be spaced a maximum distance equal to or less than two times the wall height. Columns may be the same height as the wall segment or extend up to 6 inches above the wall. For projects that incorporate columns into the design of buildings, colonnades, shade structures or other site elements, screen walls will utilize columns similar in colors, materials and design style to the other site columns.

All fencing should be constructed of durable materials and should be maintained in good repair. Painted wrought iron, metal picket, masonry block (split face, stucco coated, plaster coated or texture finished) or tilt-up concrete panels are examples of acceptable fencing materials.

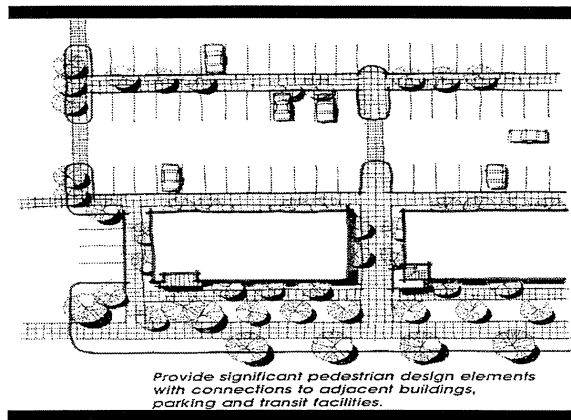
### **5.3.7 General Parking and Circulation Guidelines**

Although parking availability is a concern throughout the Specific Plan area, greater accessibility and efficiency of existing parking can be accomplished through more effective parking lot design. Parking lot design can also be a critical factor in the success or failure of a commercial use. In considering the possibilities for developing a new parking area, a developer (or his/her architect) should analyze the following factors: 1) ingress and egress with consideration to possible conflicts with street traffic; 2) pedestrian and vehicular conflicts; 3) on-site circulation and service vehicle zones; and 4) the overall configuration and appearance of the parking area.



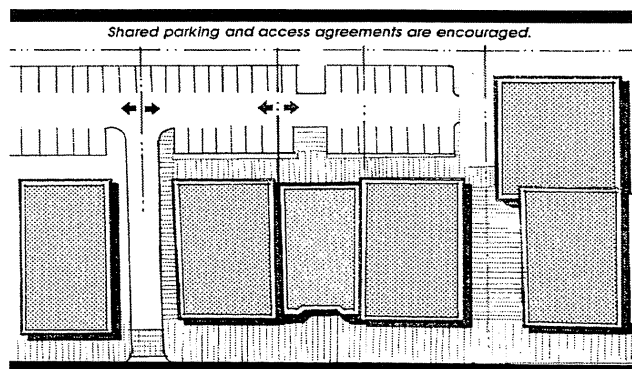
**Separation**

- ❖ Separate vehicle and pedestrian circulation systems should be provided. Pedestrian linkages between uses in commercial developments should be emphasized, including distinct pedestrian access from parking areas in large commercial developments, such as shopping centers.
- ❖ Parking should be separated from pedestrian circulation routes whenever possible.



**Access**

- ❖ Common driveways which provide vehicular access to more than one site are encouraged, particularly where development occurs on narrow lots fronting on Lincoln Avenue.
- ❖ Shared access and parking between adjacent businesses and/or developments is highly encouraged. The opportunity to increase access and parking efficiency exists throughout the Specific Plan area, where adjacent rear parking areas lack coordination of circulation and access.



- ❖ Parking access points, whether located on front or side streets, should be located as far as possible from street intersections so that adequate vehicle stacking room is provided. The number of vehicular access points should be strictly limited to the minimum amount necessary to provide adequate circulation. (Refer to Section 4.5.4.)

### ***Parking***

- ❖ Angled parking is preferred over 90° parking, especially for uses with rapid parking space turnover (3/hour).
- ❖ Parking areas should be separated from buildings by either a raised concrete walkway or landscape strip, preferably both. Situations where parking spaces directly abut the buildings should be avoided.
- ❖ Design parking areas so that pedestrians walk parallel to moving cars. Minimize the need for the pedestrian to walk between parked cars or to cross parking aisles and landscape areas.
- ❖ Parking areas which accommodate a significant number of vehicles should be divided into a series of connected smaller lots. Landscaping and offsetting portions of the lot are effective in reducing the visual impact of large parking areas.
- ❖ The first parking stall which is perpendicular to a driveway or first aisle juncture, should be at least 20 feet back from the public street curb. With larger commercial centers, significantly more setback areas may be required for vehicle stacking.

### **5.3.8 Landscape Design Guidelines**

Landscaping will play an important role in achieving the design goals for the Lincoln Avenue Specific Plan area. On-site landscaping (located within the project area) will blend with and reinforce landscaping provided with the public street right-of-way. In addition, projects will be expected to consider the character (type, location, materials) of landscaping on adjacent sites.

The primary objective for landscaping within the Specific Plan area is to act as a unifying element in order to create a cohesive visual image along Lincoln Avenue and to increase the overall quality of the area's environment.

### ***Landscape Concept***

- ❖ The relationship between the street and immediately adjacent on-site landscaped setback areas has been established by the design standards in the Streetscape Improvements chapter. These setback areas will contain trees, shrubs, groundcover and annual color.
- ❖ On-site landscaping should provide a consistent design theme throughout the project and be compatible with adjacent landscaped development in the public right-of-way, including landscaping, hardscape and site furnishings. In larger developments, a variety of landscape themes may be utilized where it will help to heighten the distinction between spaces and to strengthen a sense of movement or place.

### ***General Guidelines***

- ❖ Landscape designs should exhibit the basic design principles that are used in building design: harmony, balance, rhythm and contrast.
- ❖ Landscaping should use a combination of trees, shrubs and groundcover. Groundcover alone will not be enough. Landscape designs should utilize a three tier system of plantings that resembles the construction of outdoor rooms with floors, walls and ceilings.

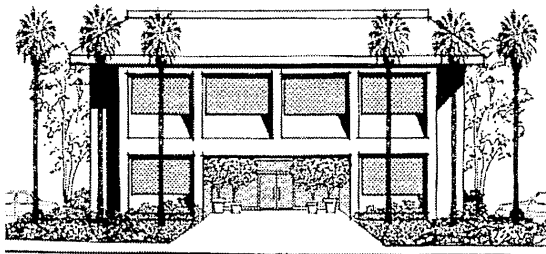
*Floors.* Groundcover can be used to define space and function; decrease erosion; and reduce glare and reflection.

*Walls.* Shrubs can be grouped together to form dense hedges and walls to help define spaces and screen unsightly views. The location and height of landscape walls should take into consideration the security aspects of site design and not be located so that natural surveillance is restricted.

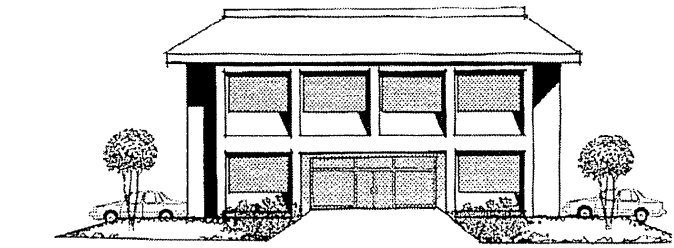
*Ceilings.* Moderate to very full trees can be used individually or in groups as an umbrella or canopy to form landscape ceilings. These can serve to provide privacy, climate control and define a hierarchy of spatial organization and function.

- ❖ The scale and nature of landscape materials should be appropriate to the site and/or structure. Large-scale buildings should be complemented by landscaping that is of the same scale and proportion.

- ❖ Landscape design should accent the overall architectural design theme through the use of structures such as arbors and trellises which are appropriate to the particular architectural style of adjacent buildings.
- ❖ Landscaping should not be utilized to screen or hide an otherwise unacceptable buildings. Building architecture should stand on its own, with landscape incorporated as an integral element of the overall project design, not as a substitution for poor design.



*DO THIS*  
*Mature landscaping is in scale with building.*



*DON'T DO THIS*  
*Landscaping is small at maturity and out of scale with building.*

- ❖ Planting of vines on walls and integrated upon buildings, trellises and perimeter garden walls is strongly encouraged.
- ❖ Contiguous parcels or areas reserved for future development should provide landscaping adjacent to the street at the time the initial phase of development occurs.

### ***Selection of Materials***

- ❖ Healthy, well-maintained plant materials should be used in all landscaped areas. Thickness, height, color, seasonal characteristics and ultimate growth should always be considered.
- ❖ Plant materials should be “long-lived” varieties. “Short-lived” materials such as flowering annuals may be utilized to accent the “longer-lived” elements which form the landscape framework.
- ❖ Landscape materials should be selected to minimize maintenance. A limited palette of landscape materials is recommended.
- ❖ Drought tolerant plant species are highly desirable and may be used in place of any materials on the plant palette.

- ❖ Groundcover should be of live plant materials. Gravel, colored rock, bark and similar materials are generally not accepted as groundcover. In some cases, *hardscape* plans using materials such as brick or other decorative paving materials may be approved in lieu of plant materials.
- ❖ Plant materials that exhibit annual or seasonal color are recommended to highlight special locations (e.g. flanking main building entries and driveways).

***Size and Location***

- ❖ Sizes of plant material should generally conform to the following mix to create a sense of establishment and variety:

Trees

- 50 percent, 24 in box
- 40 percent, 15 gallon
- 10 percent, 5 gallon

Shrubs

- 90 percent, 5 gallon
- 10 percent, 1 gallon

Groundcover

- 100 percent coverage within 1 year

- ❖ Where planting is intended to perform a function such as screening or shading, its initial size and spacing shall be selected to achieve its purpose within two years.
- ❖ Plant materials should be spaced so that they do not interfere with the adequate lighting of the premises or restrict access to emergency apparatus such as fire hydrants or fire alarm boxes. Proper spacing should ensure unobstructed visibility for vehicles and pedestrians at intersections.

***Parking Areas***

- ❖ All parking areas shall be landscaped in compliance with Section 25.17 of the City of Cypress Zoning Ordinance. Landscaping shall include perimeter screening and interior shading. Landscaping should be provided at suitable intervals throughout the lot and at the ends of parking rows, and should screen parked cars from adjacent streets.

- ❖ Parking lots should be landscaped with the following objectives in mind:
  - ◆ Utilize uniform tree species and container size in the interior of the lot
  - ◆ Visually break up large paved areas with landscaping
  - ◆ Maximize distribution of landscaping
  - ◆ Create tree groves in orderly patterns
- ❖ Parking lots adjacent to a public street shall be landscaped to screen vehicles from view. Screening should consist of a combination of low garden walls (Specific Plan Section 5.3.5, Garden Walls), berms and landscape materials. The objective is to screen automobiles up to the height of the windshield. Where practical, lowering the grade of the parking lot from the adjacent street elevation can also help to obscure views of automobiles while allowing views to the buildings beyond.
- ❖ Parking lot designs should include walkways and planting that help direct pedestrians comfortably and safely to their destinations.
- ❖ Planting areas adjacent to parking areas, drives or walks shall be protected by concrete curbing where necessary.

### ***Hardscape Guidelines***

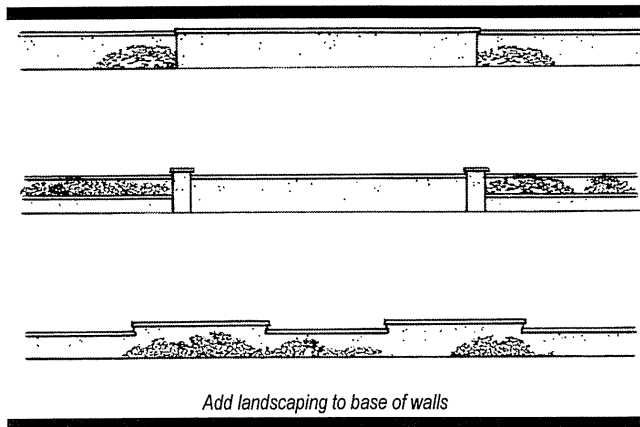
- ❖ For purposes of these Design Guidelines, hardscape elements include all paving material on private property including sidewalks, paths, walkways, courtyards and plazas.
- ❖ Pedestrian materials should be:
  - ◆ Textured enough to avoid slipping when wet
  - ◆ Flat enough to avoid ankle sprains
  - ◆ Durable enough to go unmaintained for a number of years
  - ◆ Pleasing to look at
  - ◆ Fade resistant
  - ◆ Non reflective
- ❖ Paving materials that should be avoided include:
  - ◆ “Turf block”
  - ◆ Loose gravel
  - ◆ Bomanite or paver with a cobblestone or rounded appearance

- ◆ White or very light colored paving
- ◆ Decomposed granite
- ❖ Asphalt is not a suitable paving material for pedestrian walkways.

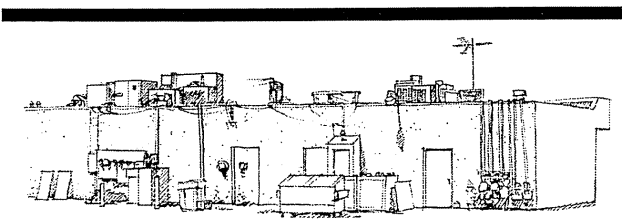
### 5.3.9 Screening Wall and Fence Guidelines

#### Storage

- ❖ Where walls are used at property peripheries, or screen walls are used to conceal storage and equipment areas, they must be designed to blend with the site's architecture. Landscaping should be used in combination with such walls whenever possible.

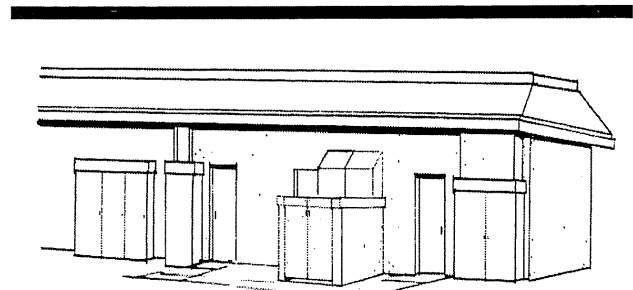


- ❖ Screening for outdoor storage at the rear of commercial sites should be a minimum of six feet and a maximum of eight feet high. The height should be determined by the height of the material or equipment being screened. Exterior storage should be confined to portions of the site least visible to public view.



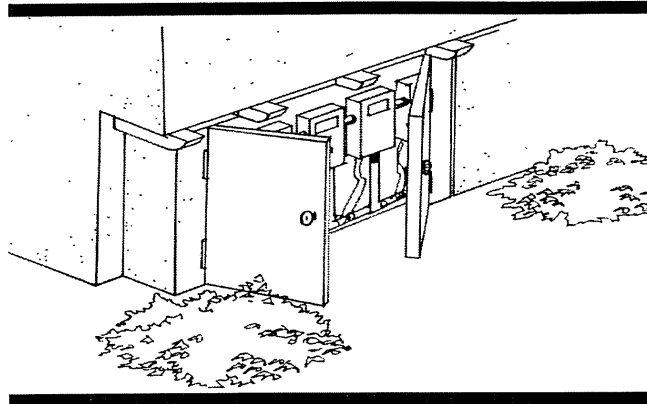
*Unscreened roof-top equipment and utilities are strongly discouraged*

*From view roof-top equipment can be hidden from view by a manner consistent with the building facade*



*Screened equipment and screened utility meters are encouraged*

- ❖ Any roof-mounted mechanical or utility equipment shall be screened. The method of screening should be architecturally integrated in terms of materials, color, shape, and size. The screening design should blend with the building design.



- ❖ Where individual equipment is provided, a continuous screen is desirable.
- ❖ Wherever possible, building screening should be accomplished by primary building elements instead of after-the-fact add-on screening.

### ***Security***

- ❖ Chain link fence is not acceptable where visible from public streets. When security fencing is required, it should be a combination of solid walls with pillars and decorative view ports, or short solid wall segments and wrought iron grill work.

### **5.3.10 Site Furnishings and Special Features**

- ❖ Permanent outdoor seating is recommended in all publicly accessible ways and spaces, where appropriate, the design should be consistent with the streetscape concept. Seating should be either:
  - ◆ Incorporated as part of the design of the building base;
  - ◆ Custom designed in a style related to the architecture of the building; or
  - ◆ Catalog items using materials appropriate to the architectural character of the building(s).



- ❖ Fountains are encouraged in plazas and courtyards to provide relief in hot weather. The design should be appropriate to the architectural character of the building(s).
- ❖ The use of special features such as arcades, trellises, arbors, columns, railing and decorative walls is encouraged in order to enhance the visual interest of a project. The use of these elements and their design should be consistent with the architectural character of the building(s).

### 5.3.11 Design for Crime Prevention

The concept of crime prevention through environmental design (CPTED) includes a wide variety of strategies aimed at reducing opportunities for crime through the proper design and effective use of the built environment. Key components of CPTED include: natural access control, natural surveillance and territorial reinforcement.

- ❖ Natural access control involves the use of pathways, paving treatments, lighting, landscaping, fencing, signs and other built features to guide ingress and egress and to discourage or eliminate public access areas.
- ❖ Natural surveillance focuses on the placement and design of physical features and the arrangement of uses to maximize opportunities for natural surveillance.
- ❖ Territorial reinforcement entails design features and physical elements which convey a sense of ownership and stewardship over a space. Unique paving patterns, artwork, signs, landscaping, lighting standards and streetscape components, and other physical elements can be installed and maintained to communicate a sense of pride and proprietorship.

#### *Design Considerations*

CPTED involves design of physical space in the context of the needs of bona fide users of the space, the activity planned for the space and the predictable behavior of bona fide, as well as illegitimate, users.

The following CPTED-based guidelines are to be considered for all development within the Specific Plan area.

- ❖ Use plants and low fencing to direct movement and restrict—symbolically—areas where people should not enter.

- ❖ Minimize the height of parking lot screening (shrubs or low walls) to allow a visible “window” above 3 feet and below 7 feet.
- ❖ Restrict the number of entry points into a development or parking lot.
- ❖ Improve safety behind buildings through use of:
  - ◆ Adequate security lighting;
  - ◆ Limited access (walls, fences, gates, shrubs);
  - ◆ Introduction of activities (e.g. rear entrances for commercial activities) that increase surveillance;
  - ◆ Surveillance through windows or with cameras; and
  - ◆ Maintenance storage areas and alleys.
- ❖ Use security fencing/walls with view ports or sections of wrought iron grille work to allow views into the development while restricting access.
- ❖ Identify building numbers (street addresses) by posting numbers so they are visible from the public right-of-way wherever possible.
  - ◆ Single-family homes should use six inch numbers/letters (in height) when displayed at the first story level.
  - ◆ Buildings other than single-family homes should use twelve inch numbers/letters (in height) when displayed at the first story level.
  - ◆ Building numbers/letters displayed above the first story should be a minimum sixteen inches in height.
  - ◆ Multiple-family residences should include building numbers of four inches in height if illuminated and six inches if non-illuminated.
- ❖ Multi-tenant developments (residential and non-residential) should include directories at site entrances identifying the locations of buildings, suites, apartments, etc. and on-site landmarks, including management offices and access points.
- ❖ Questions to consider in the design of new development, as related to public safety and crime:

- ◆ What are the types and characteristics of adjacent or nearby uses?
- ◆ Is the development intended to serve as a buffer, barrier or transitional use between different existing buildings/uses? What design features and configurations can optimize compatibility with those uses?
- ◆ Who are the intended users of the development and how can the site be designed to encourage desirable use while discouraging illegitimate activities?
- ◆ How do the internal activities of the building relate to one another and to external activities? And, what building design elements influence the activities?
- ◆ Where are the off-site pedestrian/bicycle and vehicular circulation systems in relation to the development, and how can the proposed structure best relate to the circulation areas?
- ◆ How can the on-site circulation areas (entrances, exits, loading areas, refuse collection/service zones, parking lots, plazas, paseos, sidewalks, etc.) best provide safe environments while facilitating the intended use of the structures? How can the relationship between the building(s) and the circulation system elements be enhanced to promote safety?
- ◆ Can window placement, lighting, parking areas, signs, landscaping, waiting areas, plazas, sidewalk-oriented uses, etc. be designed to maximize natural surveillance?
- ◆ What design treatments can be introduced to make certain features less susceptible to criminal activity or less likely to permit illegitimate activity (e.g. doors, windows, alleys, loading areas, refuse enclosures, fences, gates, etc.)?
- ◆ How can landscaping be incorporated and maintained to facilitate natural surveillance (i.e. sight lines and visual clearance areas)?
- ◆ What opportunities exist to use landscape materials to communicate territoriality and to control access?

### 5.3.12 General Sign Guidelines

A City's image can be greatly affected by the design, character and quality of commercial signing. Poorly crafted signs can make a street ugly and uninviting, while a well designed, unobtrusive sign can provide identification of a business without being aesthetically offensive or overbearing. Signs communicate information about the business and the quality of the sign can communicate something of the quality of the business. A well designed sign greatly contributes to the character of the building facade and can enhance the total image of the surrounding area.

The following general guidelines are intended to provide a reference framework to assist designers in achieving high quality sign programs. The guidelines will be utilized during the City's design review process to encourage the highest level of sign quality while at the same time providing the flexibility necessary to encourage creativity on the part of sign designers.

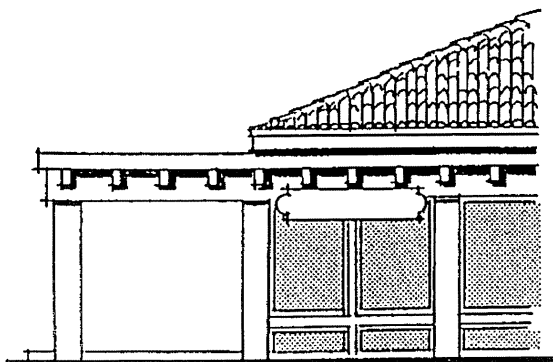
The following general design guidelines should be consulted prior to developing signs for any project.

- ❖ *Use a brief message.* The fewer the words, the more effective the sign. A sign with a brief, succinct message is simpler and faster to read and looks more attractive.
- ❖ *Avoid hard-to-read, overly intricate typefaces.* These typefaces are difficult to read and reduce the sign's ability to communicate.
- ❖ *Avoid faddish or bizarre typefaces.* Such typefaces may look good today, but soon go out of style. The image conveyed may quickly become that of a dated and unfashionable business.
- ❖ *Select colors and materials carefully.* Sign colors and materials should be selected to contribute to legibility and design integrity. Even the most carefully thought out sign may be unattractive and a poor communicator because of poor color selection. Bright day-glo colors should be avoided as they are distracting and do not usually blend well with building and other background colors.
- ❖ *Use significant contrast between the background color and letters.* If there is little contrast between the brightness or hue of the message of a sign and its background it will be difficult to read.
- ❖ *Avoid too many different colors on a sign.* Too many colors overwhelm the basic function of communication. The colors compete

with content for the viewer's attention. Limited use of the accent colors can increase legibility, while large areas of competing colors tend to confuse and disturb.

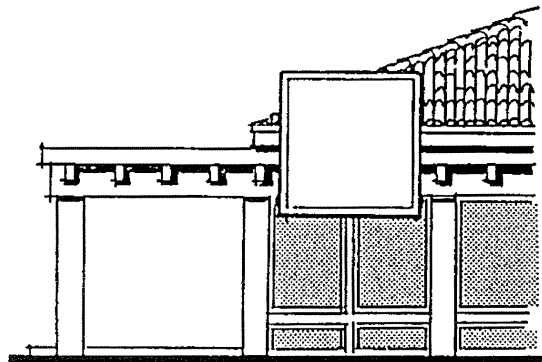
- ❖ *Place signs to indicate the location of access to a business.* Signs should be placed at or near the entrance to a building or site to indicate the most direct access to the business.
- ❖ *Place signs consistent with the proportions of scale of building elements within the facade.* Within a building facade, the sign may be placed in different areas. A particular sign may fit well on a plain wall area, but would overpower the finer scale and proportion of the lower storefront. A sign which is appropriate near the building entry may look tiny and out of place above the ground level.

DO THIS



Sign is in scale and character with building articulation.

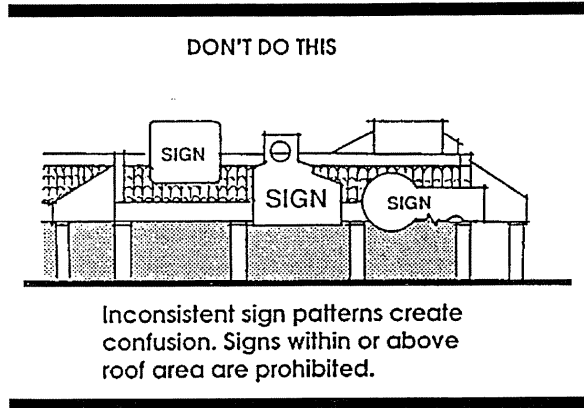
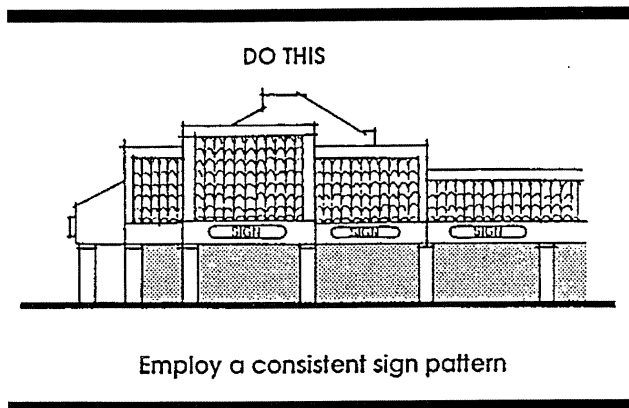
DON'T DO THIS



Sign is out of scale and character with building

- ❖ *Place wall signs to establish facade rhythm, scale and proportion.* In many buildings that have a monolithic or plain facade, signs can establish design rhythm, scale, and proportion.
- ❖ *Avoid signs with strange shapes.* Signs that are unnecessarily narrow or oddly shaped can restrict the legibility of the message. If an unusual shape is not symbolic it is probably confusing.
- ❖ *Consider the proportion of letter area to overall sign background area.* If letters take up too much sign area they may be harder to read. Large letters are not necessarily more legible than smaller ones. A general

rule is that letters should not appear to occupy more than 75% of the sign panel area.



- ❖ *Make signs smaller if they are oriented to pedestrians.* The pedestrian-oriented sign is usually read from a distance of 15 to 20 feet; vehicle-oriented signs are viewed from a much greater distance. The closer a sign's viewing distance, the smaller the sign should be.

These design guidelines are intended to provide direction regarding the type and appearance of signs in Cypress. The City is seeking for signage in the Specific Plan area to be architecturally consistent with adjacent buildings and streetscape and for the dimensions to be consistent throughout the City. Specific regulations regarding the size and number of signs permitted for each business/property are contained in the City's Zoning Ordinance. Special purposes signs are also referenced in Section 29.25 of the City's Zoning Ordinance and include directional, real estate, development, sales and bus shelter signs, and include allowed dimensions (for example, retail commercial use window area signage shall not exceed 50 percent of the window area). Regulations for temporary signs are also provided in Section 29.27 of the Cypress Zoning Ordinance.

# LINCOLN AVENUE SPECIFIC PLAN

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**LEAD AGENCY:**

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**714/229-6725**

**PREPARED BY:**

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**949/472-3505**

December, 1998

JN 34793

## 6.0 STREETScape IMPROVEMENTS

One of the important objectives of the Lincoln Avenue Specific Plan is to enhance the special aesthetic qualities of the Corridor Area and to make each District more pleasant, attractive, and functional. These objectives can largely be achieved through the implementation of streetscape improvements. The Streetscape Program identifies and coordinates the public/private streetscape design elements of paving, street tree plantings, median plantings, lighting, parkway widths and design and other unique design features within the Lincoln Avenue Specific Plan area.

All of the streetscape design elements identified in this section will occur within the public right-of-way. However, when opportunities arise which would permit private developers to utilize the same design elements on private development sites, they will be encouraged to do so. Examples of design elements that could be integrated on private development sites include trees, paving patterns, pedestrian lighting, and street furniture.

### 6.1 Streetscape Concept Plan

The Streetscape Concept Plan establishes the overall urban design for each of the various individual design elements (i.e., paving patterns, furniture, trees, etc.) that are proposed as streetscape improvements.

The Lincoln Avenue right-of-way is comprised of several key design elements that will contribute to the overall visual quality of the Specific Plan area. These include primary gateways to the City from both the west and the east; landscape medians; intersections that function as secondary access points to Lincoln Avenue from adjacent neighborhoods to the north and south; a pedestrian area within the right-of-way; and lighting. Design concepts for each of these streetscape zone elements are summarized below. Landscape setback and development parcel guidelines are presented in Section 4.0 of the Specific Plan.

#### 6.1.1 Plant Palette

Table 3, *Plant Palette*, provides a listing of trees, shrubs and ground cover that have been selected for their ability to thrive in urban conditions and will enhance the experience of motorists and visitors to the project area. Exhibits 5a through 5f provide cross-section examples at various locations along the corridor.



**TABLE 3  
PLANT PALETTE**

| Key          | Botanical Name/Common Name                               | Size      | Remarks     |
|--------------|--|-----------|-------------|
| <b>TREES</b> |  |           |             |
| BAU          | Bauhinia variegata 'Candita' / White Orchid Tree         | 36" Box   | Multi Trunk |
| CAS          | Cassia splendida 'Golden' / Golden Wonder Senna          | 24" Box   | X           |
| CHA          | Chamaerops humilus / Mediterranean Fan Palm              | 36" Box   | X           |
| CIM          | Cinnamomum camphora / Camphor Tree                       | 48" Box   | Multi Trunk |
| CIN          | Cinnamomum camphora / Camphor Tree                       | 36" Box   | X           |
| ERC          | Erythrina coralloides / Naked Coral Tree                 | 48" Box   | Multi Trunk |
| ERY          | Erythrina crista-galli / Cockspur Coral Tree             | 24" Box   | Multi Trunk |
| EUC          | Eucalyptus citriodora / Lemon Scented Gum                | 24" Box   | X           |
| EUS          | Eucalyptus cladocalyx / Sugar Gum                        | 24" Box   | X           |
| FIC          | Ficus rubiginosa 'Florida' / Rustyleaf Fig               | 48" Box   | Multi Trunk |
| JAC          | Jacaranda mimosifolia / Jacaranda                        | 24" Box   | X           |
| JAM          | Jacaranda mimosifolia / Jacaranda                        | 36" Box   | Multi Trunk |
| LIF          | Liquidambar styraciflua 'Festival' / American Sweet Gum  | 24" Box   | X           |
| LIQ          | Liquidambar styraciflua 'Palo Alto' / American Sweet Gum | 24" Box   | X           |
| MAG          | Magnolia kosar devos 'Randy' / Saucer Magnolia           | 24" Box   | X           |
| MAA          | Magnolia soulangiana 'Alba' / Saucer Magnolia            | 15 Gal    | X           |
| MAG          | Magnolia soulangiana 'Lilliputian' / Saucer Magnolia     | 15 Gal    | X           |
| MYO          | Myoporum laetum 'Carsonii' / Myoporum                    | 24" Box   | X           |
| PHO          | Phoenix canariensis / Canary Island Date Palm            | 36" Box   | X           |
| PHR          | Phoenix roebelenii / Pygmy Date Palm                     | 25' Brown | Trunk       |
| PIN          | Pinus canariensis / Canary Island Pine                   | 24" Box   | X           |
| PLA          | Platanus acerifolia 'Bloodgood' / London Plane Tree      | 24" Box   | X           |
| PLM          | Platanus racemosa / California Sycamore                  | 24" Box   | Multi Trunk |
| PYR          | Pyrus kawakamii / Evergreen Pear                         | 24" Box   | X           |
| PYM          | Pyrus kawakamii / Evergreen Pear                         | 24" Box   | Multi Trunk |

**TABLE 3  
PLANT PALETTE - CONTINUED**

| Key           | Botanical Name/Common Name                         | Size      | Remarks          |
|---------------|--|-----------|------------------|
| SYA           | Syagrus romanzoffianum / Queen Palm                | 16' Brown | Trunk            |
| WAS           | Washington filifera / California Fan Palm          | 20' Trunk | X                |
| <b>SHRUBS</b> |  |           |                  |
| ACA           | Acacia redolens / Acacia                           | 5 Gal     | X                |
| AGA           | Agave attenuata / Agave                            | 5 Gal     | X                |
| ALO           | Aloe striata / Coral Alde                          | 5 Gal     | X                |
| BOB           | Bougainvillea 'Barbara Karst' / Bougainvillea      | 5 Gal     | X                |
| BOI           | Bougainvillea 'Isabel Green Smith' / Bougainvillea | 15 Gal    | X                |
| BOO           | Bougainvillea 'Oh La La' / Bougainvillea           | 5 Gal     | X                |
| BOS           | Bougainvillea 'Spectabilis' / Bougainvillea        | 5 Gal     | X                |
| BOU           | Bougainvillea 'Rosenka' / Bougainvillea            | 5 Gal     | X                |
| BUX           | Buxus japonica / Japanese Boxwood                  | 5 Gal     | X                |
| CAG           | Camellia japonica 'Shi Shi Gashira' / Camellia     | 15 Gal    | X                |
| CAM           | Camellia japonica 'Covina' / Camellia              | 5 Gal     | X                |
| CAN           | Camellia japonica "show No Sakae' / Camellia       | 5 Gal     | X                |
| ECH           | Echium fastuosum / Pride of Madera                 | 5 Gal     | X                |
| ESC           | Escallonia 'Frades' / Escallonia                   | 5 Gal     | X                |
| EUR           | Euryops pectinatus 'Viridis' / Euryops             | 5 Gal     | X                |
| FIR           | Ficus repens / Creeping Fig                        | 5 Gal     | X                |
| HEM           | Hemerocallis hybrids / Daylily                     | 1 Gal     | Pink, Coral, Red |
| ILE           | Ilex cornuta 'Burfordii' / Burford Holly           | 5 Gal     | X                |
| KNI           | Kniphofia livaria / Red Hot Poker                  | 5 Gal     | X                |
| LAG           | Lantana 'Gold Rush' / Lantana                      | 1 Gal     | X                |
| LAS           | Lantana 'Sellowiana' / Lantana                     | 1 Gal     | X                |
| LAV           | Lavandula dentata / French Lavender                | 5 Gal     | X                |
| LAW           | Lantana 'White Lightnin' / Lantana                 | 1 Gal     | X                |

**TABLE 3  
PLANT PALETTE - CONTINUED**

| Key       | Botanical Name/Common Name                              | Size    | Remarks |
|-----------|---|---------|---------|
| MYL       | Myoporum laetum / Myoporum                              | 5 Gal   | X       |
| MYR       | Myrtus communis 'Compacta' / Dwarf Common Myrtle        | 5 Gal   | X       |
| NEC       | Nerium oleander 'Casa Blanca' / Oleander                | 5 Gal   | X       |
| NEP       | Nerium oleander 'Petite Pink' / Dwarf Oleander          | 5 Gal   | X       |
| NER       | Nerium oleander 'Algiers' / Oleander                    | 5 Gal   | X       |
| PIT       | Pittosporum tobira 'Variegata' / Variegated Mock Orange | 5 Gal   | X       |
| PRU       | Prunus caroliniana 'Bright N Tight' / Flowering Cherry  | 5 Gal   | X       |
| PYR       | Pyracantha 'Ruby Mound' / Firethorn                     | 5 Gal   | X       |
| PYS       | Pyracantha 'Santa Cruz' / Firethorn                     | 5 Gal   | X       |
| RHA       | Rhamnus alaternus / Italian Buckhorn                    | 5 Gal   | X       |
| ROE       | Rosa 'Europeana' / Rose                                 | 5 Gal   | X       |
| ROI       | Rosa 'Iceburg' / Iceburg Rose                           | 5 Gal   | X       |
| ROF       | Rosa 'Flower Carpet Pink' / Rose                        | 5 Gal   | X       |
| ROM       | Rosa meidiland 'Seviana' / Seviana Rose                 | 5 Gal   | X       |
| ROW       | Rosa meidiland white / White Rose                       | 5 Gal   | X       |
| SAB       | Salvia superba 'Blue Hills' / Sage                      | 5 Gal   | X       |
| SAL       | Salvia splendens / Scarlet Sage                         | 5 Gal   | X       |
| TRA       | Trachelospermum jasminoides / Star Jasmine              | 5 Gal   | X       |
| <b>GC</b> | <b>Ground Cover</b>                                     |         |         |
| HYP       | Hypericum calycinum / Aaron's Beard                     | Flats   | X       |
| LIR       | Liriope gigantea / Big Blue Lily Turf                   | 1 Gal   | X       |
| PEL       | Pelargonium peltatum / Ivy Geranium                     | 1 Gal   | X       |
| SEN       | Senecio mandraliscae / Senecio                          | 4" Pots | X       |
| VER       | Verbena peruviana 'Sapiens' / Verbena                   | Flats   | X       |
| TURF      | Marathon Sod  | SOD     | X       |

### 6.1.2 Primary Gateways

- ❖ **West End.** Primary gateways highlight the entrance to the City of Cypress from both the east and the west. At the west end of Lincoln Avenue, the streetscape planting plan includes variations of trees, shrubs and groundcover on both sides of the roadway and along the center median. Tree plantings are to include Camphor Trees and Lemon scented gum. Focal planting areas are to include corner locations at intersections such as Bloomfield Avenue and Denni Street as well as along the center median. The typical plant palette at these locations include Naked Coral Trees, Oleanders, Lantana, Daylily and geranium. The planting arrangement will be highlighted with tree lights, decorative street paving and large bowls of flowering groundcover in the vicinity of the existing “Cypress” monument.

The future bridge improvements over the flood control channel will provide an opportunity to enhance the image of the bridge structure and the western entry to the City. Exhibit 10, *West End Entry Design*, provides a conceptual design for the entry. Design elements may include articulation of the side railing with a balustrade, bollards, planters, light standards and banner poles (refer to Exhibit 11, *West End Bridge Entry Feature*). Renovations at this gateway will be implemented by the City of Cypress.

- ❖ **East End.** At the east end of Lincoln Avenue, the image is more difficult to control because much of the adjacent property from Holder Street to Valley View Street (and further west on the north side of the street) is not within the City limits. However, through close coordination with the adjacent City of Buena Park, the gateway design plan for this area can be achieved. Basic concept for the east end includes tree plantings involving Jacaranda’s, Cockspur coral trees and the Rust leaf fig. This landscape theme is extended west to Valley View Street. Because much of the right-of-way is located in the City of Buena Park, a monument sign is not recommended for the median. Rather, it should be integrated with future development proposals on the southeast corner of Lincoln Avenue and Valley View Street. Exhibit 12, *East Entry*, provides an example of how the monument signage is envisioned. Exhibit 13, *East Entry Median Signage*, shows the monument sign to be placed in the center median across from Home Depot.

### 6.1.3 Landscape Median

The proposed reconfiguration of the Lincoln Avenue right-of-way will reduce the width of the existing median. The streetscape plan includes ample planting of trees, shrubs, groundcover and turf to be consistent with the plans for the entire right-of-way. The design includes focal planting areas at key locations and will be designed in order to not restrict access or create a visual impairment.

### 6.1.4 Intersections

Intersections along Lincoln Avenue may incorporate decorative paving. At the intersections, including Lincoln Avenue and Moody Street, Lincoln Avenue and Walker Street, and Lincoln Avenue and Grindlay Street, the intersection is treated with decorative paving. Typical bow-out examples are included in Exhibit 14, *Bow Out Southwest Corner of Lincoln Avenue and Walker Street*, and Exhibit 15, *Rendering of Typical Bow Out*. Exhibit 16, *Bow Out at Home Depot*, and Exhibit 17, *Example Trellis Feature Within Bow Out*, is an example of possible trellis features to be placed in the bow outs near the Home Depot.

At other intersections, decorative paving may be used to define the pedestrian crosswalks that parallel Lincoln Avenue. The City of Cypress will install these crosswalks. Parcels bordering intersections are encouraged to incorporate mini-plazas and pedestrian gateways that unite site architecture with the streetscape theme and enhance pedestrian site access. All design components located within the pedestrian area or in open space components adjacent to the right-of-way will be installed by the developer and will be selected from the Master Site Furnishings Kit.

### 6.1.5 Pedestrian Walkway Area

Design concepts for the pedestrian walkway areas located on the north and south sides of Lincoln Avenue describe a list of development elements that include drive cuts, decorative paving, pedestrian access and site furnishings. Overhead utility lines located towards the eastern end of Lincoln Avenue will be placed underground. All design improvements in the pedestrian area including utility relocation, construction of bus shelters and street light renovations will be implemented by the City during construction of the planned Lincoln Avenue right-of-way improvements.

### 6.1.6 Lighting

Overhead street lights along Lincoln Avenue will be enhanced with the addition of low level ornamental globe and pole fixtures from Southern California Edison (“Glendora” fixture on concrete texture pole). Additional accent street lighting will enhance the specific intersections at Walker Street, Moody Street and Grindlay Street with King Luminaire’s “Pacific Arm” kA70 with double round globes. Additionally, within the Downtown and Campus Village Districts, the City will install in-ground uplights at street trees. Design guidelines for the Downtown and Campus Village districts incorporate design components such as bollard lights, wall sconces, and pole lights to provide a minimum lighting level of one footcandle along public walkways. An example of a typical light standard is included in Exhibit 18, *Typical Light Standard*.

### 6.1.7 Master Site Furnishings Kit

This section describes the various design components that will contribute a unified streetscape image immediately adjacent to Lincoln Avenue. Exhibits 19a and 19b provide examples of key features to be considered as part of the streetscape program. Design proposals depicted in this section are intended to provide designers and developers with a “kit of parts” that may be arranged in a variety of different ways to relate to site specific development proposals.

- ❖ **Bollards.** Bollards are intended to create a physical separation between cars and people and to extend the architectural character of buildings or colonnades into the pedestrian areas. Bollards should be used sparingly in strategic areas for safety and traffic control. Bollards will be comprised of three distinct components that include a base, a shaft and a cap. All three components will be constructed of the same enameled steel specified for columns. Cross-section configuration of the base, shaft and cap will be circular.
  
- ❖ **Clock Tower.** The proposed clock tower will be situated in the Downtown district in the vicinity of the Lincoln Avenue and Walker Street intersection. The recommended model is a brick clock tower with two clock faces with Westminster chime and hour strike. Clock to be edge lighted with off-white neon tube. Clock rim is a gold kynar painted finish. Clock tower to be of Higgins “Red Saturn” flashed brick and “Cinnabar” brick banding. Pierced brick openings appear on all four sides of the tower. The top portion of the tower is of “Carnelian” polished granite panels with flamed finish granite divider

strips. The pyramidal cap of the tower is of steel. Base of tower is of "fawn" colored, acid washed concrete.

- ❖ **Accent Planters.** Various free-standing planters, containers and pots are encouraged in front of businesses and at public gathering areas. In addition to the "Galvez" cast stone planter, others of similar scale, style and color are encouraged. These should be used in groupings in random sizes.
- ❖ **Drinking Fountain.** Drinking fountains will be located in the landscape setback area of parcels that border intersections. Drinking fountains will be constructed using the Canterbury International "Metro" cast bronze bowl retrofitted as depicted.
- ❖ **Benches.** "Keystone" - "Reading" metal strap bench, Columbia Cascade "Restoration" wood slat bench with cast iron arms and leg supports.
- ❖ **Kiosks.** Custom brick, concrete plaster.
- ❖ **Directories.** Design to include open fretwork steel grill and solid acrylic opaque sign panel. Bronze anodized aluminum display panel box with locking interior illuminated display.
- ❖ **Pilaster.** Custom brick, concrete plaster.
- ❖ **Bus Shelter.** Art deco bus shelter with open grillwork set in steel post frame. Grill to contain panels of seedy clear acrylic and gold acrylic. Concrete shingle roof to be autumn brown with aluminum fascia and soffit. Walls to be of Higgins "Red Saturn" flashed brick with "Cinnabar" brick banding. Cap and base of walls to be "fawn" colored acid washed concrete.
- ❖ **Paving Materials.** All walkways within the Lincoln Avenue Specific Plan Streetscape Zone will provide barrier free access in conformance with the Americans With Disabilities Act - Title III and the California Access Code - Title 24. Walkways will be lightly tinted with a broom finish. Control joints and accent bands will be used to emphasize all street trees and/or column locations. The accent bands will be a medium tinted concrete with a sandblast finish.

A 7 foot, 6-inch wide band of decorative paving (to be selected) will be installed across all site access drive locations to define pedestrian

crossings/walkway areas. This paving band will also be medium tinted concrete with a sandblast finish.

Although not specifically required, decorative paving is encouraged to be installed by developers in walkway areas that front building entrances and pedestrian site access locations.



# LINCOLN AVENUE SPECIFIC PLAN

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December, 1998

JN 34793

## 7.0 IMPLEMENTATION AND ADMINISTRATION

Implementing the Lincoln Avenue Specific Plan requires coordinated action on a number of different fronts:

- ❖ Regulatory Framework - to promote new development that will support Specific Plan's economic base, to require high quality renovations and new development, and to provide for consistency between the Specific Plan and the City's other policy and regulatory tools.
- ❖ Public Improvements - to set the stage for private sector investment.
- ❖ Promotion - to strengthen the marketability and attractiveness of business.

This section outlines approaches the City may undertake in these areas to achieve the goals, and policies of the Specific Plan.

### 7.1 Regulatory Framework

The Specific Plan is a bridge between the broad land use and development policies of the General Plan and the regulating ordinances of the Zoning Code. It must be integrated with these documents to have the legal authority it requires to promote beneficial change in the Specific Plan area. Future public and private sector actions within the project area must then comply with the Specific Plan's goals, policies and standards. The design guidelines contained in the Plan also guide development and the development review process. Proposals may vary from these guidelines, however, they must be consistent with their basic intent.

#### 7.1.1 Design Review Procedures

Within the Lincoln Avenue Corridor Specific Plan boundaries, all new development and remodels shall be subject to the City of Cypress Design Review procedures, as described in Section 35 of the City Zoning Ordinance. The Design Review Committee will review planned improvements to ensure compatibility with the guidelines and standards of the Specific Plan.

#### 7.1.2 Relationship to Other City Documents

- ❖ **General Plan.** The General Plan Update of 1993 included an in-depth study of Lincoln Avenue and established a goal to "*Enhance the visual image and economic vitality of the Corridor.*" General Plan policies articulated to achieve this goal include:

- ◆ Develop and adopt a Specific Plan for Lincoln Avenue.
- ◆ Encourage lot consolidation to achieve more cohesive development projects.
- ◆ Encourage the development of multi-family residential both adjacent to and above ground floor commercial/retail as a means of stimulating pedestrian activity on the Corridor.
- ◆ Review the City's Zoning Ordinance to create a commercial/residential mixed use designation.

As an implementation measure of the General Plan, the Lincoln Avenue Specific Plan is consistent with these General Plan policies.

- ❖ **Zoning.** Upon adoption of the Specific Plan, the zoning designation for the study area will become "Lincoln Avenue Specific Plan." Consequently, the City's Zoning Map will need to be amended to reflect this new designation.
- ❖ **Redevelopment Plan.** The 1990 Lincoln Avenue Redevelopment Plan defines the Corridor as a Redevelopment Project Area in order to alleviate blighting influences and stimulate economic growth. Boundaries of the Redevelopment Area encompass portions of the study area. Adoption of the Specific Plan will not require any amendments to the Redevelopment Plan.

### 7.1.3 Plan Administration

To ensure the Specific Plan is implemented in a manner consistent with its adopted goal and policies, the Community Development Department will review the policies, guidelines and standards of the Specific Plan every five years, beginning from the date of Specific Plan adoption. Recommended amendments to the Specific Plan will be subject to review and approval by the City Council.

All Specific Plan amendments are governed by the California Government Code, Section 65450. Each amendment shall include all sections or portions of the Specific Plan that are affected by the change. An amendment may be initiated by the City Council, or private property owner. Any amendment requested by a property owner may be subject to the fee schedule adopted by the City Council.

## 7.2 Public Improvements

In constructing public improvements, the City will be making a visible economic commitment to realizing the vision for the Lincoln Avenue Corridor. These improvements will add value to the area, thereby laying a foundation for future private sector investment, in the form of building renovations and new development. With the development standards and guidelines in place, new private sector investment will combine with public improvements to fulfill the City's vision for Lincoln Avenue.

Utilities are underground within the western portion of the study area, from Bloomfield Avenue through 5892 Lincoln Avenue. Electric and telephone overhead lines extend along the eastern portion of the corridor. The City of Cypress intends to underground the remaining utility lines during construction of the planned street improvements. The undergrounding of utilities is anticipated to correspond with the capital improvement budget for Fiscal Year 1999-2000. In addition, the Cypress Redevelopment Agency has continued with plans/improvements in the study area which include:

- ❖ Reconstruction of the pavement along Lincoln Avenue;
- ❖ Improvement of median islands, including landscaping and irrigation systems, throughout the Corridor.
- ❖ Improvement of the railroad crossing surface at Lincoln Avenue, east of Walker Street, including adjustment and upgrading of crossing gates;
- ❖ Reconstruction of the manholes at the intersections of Lincoln Avenue and Moody Street, and Lincoln Avenue and Cobblestone Lane;
- ❖ Construction of missing sections of sidewalk, curb and gutter along both sides of Lincoln Avenue;
- ❖ Traffic signalization and drainage improvements necessary to fully implement redevelopment of the project area.

Major mains and cables are existing within the streets of the project area. Precise design and sizing requirements for new development will be determined during more detailed levels of project review and entitlement and are subject to site plan review by the City and service agencies.

### 7.3 Development Incentives and Potential Funding Mechanisms

In order for the Specific Plan area to develop consistent with the goals and objectives of this plan, development incentives and public improvements will need to be identified. This section summarizes a variety of potential incentives and methods for funding improvement projects. This listing is not intended to exclude any other available incentives and funding source and does not require the use of any source listed.

#### 7.3.1 Development Incentives

Consistent with the goal of this Specific Plan to enhance the visual image and economic vitality of the Lincoln Avenue Corridor, the City will consider offering development incentives for developments that provide amenities beyond those required, including the provision of pedestrian archways, colonnades, and vehicular archways. Applications for development incentives will be considered through the Conditional Use Permit process.

Development incentives offered by the City may include one or a combination of the following:

- ❖ No fee processing
- ❖ Reduction of parking or landscaping requirements
- ❖ Left-turn ingress/egress
- ❖ Redevelopment Agency assistance
- ❖ Street furnishing amenities
- ❖ Density bonus
- ❖ Increased floor area ratio and lot coverage

#### 7.3.2 Conditions Of Approval For Individual Projects

Under this method, individual developers are required to construct infrastructure and other facilities as part of their project approval when such improvements are directly related to their project.

Construction of facilities by individual developers is the easiest financing method to implement and should be employed whenever possible. This method allows developers to move ahead with their projects subject to their own timing without the potential delays which might accrue in the creation of more elaborate financing schemes. However, issues of equity preclude developer construction for features of area wide or general benefit unless reimbursement is involved. In requiring construction of facilities by developers, even if there is to be reimbursement, care must be taken to avoid overloading front end development costs to the point that on-site project

amenities be sacrificed in favor of up-front costs for off-site facilities/improvements.

### **7.3.3 Special Districts and Fees**

Special fee districts are frequently established by local agencies to address specific infrastructure needs such as sewer, water or drainage. In most instances fees are collected upon the development of land within the fee district, based on a master plan for the specific facility. Fees are usually collected on per acre or per unit basis.

Impact fees are monetary exactions (other than taxes or special assessments) that are charged by local agencies in conjunction with approval of a development project. Impact fees are levied for the purpose of defraying all or a portion of the costs of any public improvements or amenities which benefit the project. The collection of impact fees does not require formation of a special district.

Impact fees are paid by builders or developers, typically at the time a building permit is issued. The public facilities funded by impact fees must be specifically identified. There must be a reasonable relationship, pursuant to Assembly Bill 1600, between the type of development project, the need for the facilities, the cost of the facilities and the need to impose a fee.

While developer fees cannot typically be leveraged (i.e. provide security for bonds or other debt instruments), fees can be used in conjunction with debt financing to help retire bonds secured by other means (e.g. land). In this case, developer fees can generate supplemental revenues to reduce future special taxes or assessments, or free up tax increment or other revenues for alternative uses. Developer fees can also be used to generate reimbursement revenues to property owners or public agencies who have previously paid more than their fair share of public improvement costs.

### **7.3.4 Redevelopment**

The existence of a Redevelopment Agency and project area creates a strong centralized authority with broad powers relative to development administration and financing.

State Community Redevelopment Law allows communities to utilize tax increment financing to carry out redevelopment activities, by applying tax increments obtained in the project area to finance planning, administrative, acquisition and improvement activities. Redevelopment Law permits the Agency to finance land acquisition for public purposes, construction of public

facilities, such as roads, parks and sewers, and administrative, legal, planning and engineering costs related to the project.

The Redevelopment Agency can issue bonds to finance project area improvements and administrative cost, and can apply the tax increments derived in the project area to pay the debt service on the bonds. However, this financing method should be used cautiously. As long as the Redevelopment Agency has incurred debt affecting the project area, tax increments must be used to retire that debt. While increments can and are passed through to outside agencies supplying essential services to the project area, funds cannot be passed through to the City itself. The use of tax increments should, therefore, be viewed of as a municipal investment to be used on projects that will repay themselves through increased revenue to the City.

### **7.3.5 Special Assessment Districts (1911, 1913, 1915 Act)**

California law provides procedures to levy assessments against benefitting properties and issue tax exempt bonds to finance public facilities and infrastructure improvements. Assessment districts, also known as improvement districts, are initiated by the legislative body (e.g. City), subject to majority protest of property owners or registered voters. Assessments are distributed in proportion to the benefits received by each property, and represent a lien against property. The assessments are fixed dollar amounts and may be prepaid. Only improvements with property-specific benefits (e.g. roads, sewer and water improvements) may be financed with assessments.

### **7.3.6 Area of Benefit Fees**

Area of benefit fees may be enacted by the legislative body (i.e. City) through adoption of an ordinance, without voter approval. The fee must be directly related to benefit received. It does not create a lien against property, but must be paid in full as a condition of approval. Its principle use is for encumbering properties that will not voluntarily enter into an assessment of CFD, so that they pay their fair share at the time they are ready to be developed. Proceeds may be used to reimburse property owners who pay up-front cost for facilities benefitting other properties. Benefitting properties may be given the option to finance the fees by entering into an assessment district (1913/1911 Act) or Mello-Roos (CFD).

### **7.3.7 Infrastructure Financing Districts (SB 308)**

Senate Bill (SB) 308 authorizes cities to form infrastructure financing districts, in accordance with a prescribed procedure, to finance public capital facilities (including, but not limited to, arterial streets, transit facilities, drainage and sewer facilities, child care facilities, libraries, and parks/recreational facilities) utilizing a method of tax increment financing, but tax revenues of county offices of education, school districts or community college districts would be subject to diversion under this bill.

SB 308 permits a district to only finance the purchase of facilities for which construction has been completed and provides that these facilities need not be physically located within the boundaries of the district. The bill prohibits infrastructure financing districts from overlapping redevelopment project areas. The bill would require any district that constructs dwelling units to increase and improve the City's supply of low- and moderate-income housing available at an affordable housing cost, as defined, to persons of low and moderate income as defined. The bill would require approval by the district's landowners or voters, as specified, of district formation and of bonds to be issued by the district to finance public capital facilities that provide significant benefits to an area larger than the area of the district.

### **7.3.8 Mello-Roos Community Facilities Districts**

The Mello-Roos Community Facilities Act of 1982 allows for the creation of special districts authorized to levy a special tax and issue tax exempt bonds for finance public facilities and services. A Community Facilities District (CFD) may be initiated by the legislative body or by property owner petition and must be approved by a  $\frac{2}{3}$  majority of either property owners or registered voters (if there are more than 12 registered voters living in the area).

### **7.3.9 Landscaping and Lighting Districts**

Landscaping and Lighting Districts (LLD) may be used for installation, maintenance and servicing of landscaping and lighting, through annual assessments on benefitting properties. LLD's also may provide for construction and maintenance of appurtenant features, including curbs, gutters, walls, sidewalks or paving, and irrigation or drainage facilities. They also may be used to fund and maintain parks above normal park standards maintained from general fund revenues.



### **7.3.10 Community Development Block Grant (CDBG) Funds**

The federal government provides limited funding for local community development programs under the CDBG program. Funds have historically been made available for housing and business improvement and revitalization, job training and economic development. The emphasis for targeting of CDBG funds is generally towards benefitting groups and individuals of low and moderate income.

Subject to the availability of funds, CDBG could be utilized to develop minor public improvements (i.e. curbs, gutters, sidewalks) to rehabilitate housing, and to make cosmetic improvements to business facades in low-income areas. Like several of the other programs described, CDBG funds likely will not provide a significant basis for implementing the project's objectives, but can combine with other measures as part of the overall program.

### **7.3.11 Southern California Edison Undergrounding Funds**

Utility companies are required to budget funds each year for undergrounding. These budgets are approved by the Public Utilities Commission and assigned to specific projects in each area based on priorities developed by local government.

## **7.4 Project Area Promotion and Business Retention**

The adoption of the Lincoln Avenue Specific Plan can provide the basic impetus for revitalization of the area's physical setting. However, it should be kept in mind that focusing on physical improvements alone may not address all of the problems associated with the project area's revitalization. Consideration should also be given to support efforts that emphasize organization and the promotion of area businesses.

Project Area support efforts can be grouped into three general categories:

- |               |   |
|---------------|---|
| Organization: | Building consensus for action.<br>Seeking cooperation from all parties.<br>Providing long-term management and planning. |
| Promotion:    | Advertising as a place to shop, invest and live through publicity, promotional materials, etc.                          |

Economic Restructuring: Recruiting businesses or developers to fulfill specific downtown needs and assisting existing businesses through business seminars and the like.

#### **7.4.1 Promotional/Organizational Activities**

While Cypress has already pursued some of these types of activities, additional efforts in organization and promotion can be helpful. Some actions to consider include the following:

##### ***Real Estate Brokers Network***

Working cooperatively with the broker community will help streamline the process of leasing space and selling property to targeted users, compatible with the vision for Lincoln Avenue.

- ❖ Inform local and regional commercial/industrial brokers of City plans and policies, so they may appropriately market Lincoln Avenue.
- ❖ Utilize the brokers' expertise and knowledge to assist in business attraction and retention.
- ❖ Proactively work with existing developers in the City in order to share ideas regarding new development throughout the City.

##### ***Technical Assistance Program***

Working with private financial consultants and local commercial lenders, with the cooperation of the Chamber, the City will provide technical assistance to small businesses regarding loans, marketing, accounting, inventory control, etc.

##### ***Loan Assistance Program***

Working with area banks and financial service firms, the City shall assist in directing local businesses to cooperative lending institutions, and helping qualify them for SBA loans where appropriate and desirable.

##### ***Joint Advertising***

With the assistance of the Chamber, the City shall embark on a joint-advertising campaign to promote project area businesses. Such a campaign could include newspaper and magazine advertising, local area mailers, and

cable television. Funding could include direct private contributors, and may ultimately evolve into a Business Improvement District, assessment-funded program.

***Special Events***

Build upon existing events such as the opportunity to attract consumers to the project area. Utilize festive banners to draw attention to the event.

***“Farmer’s Market”***

Explore the feasibility of organizing, and maintaining an ongoing farmer’s market event which is coordinated with business interests to bring consumers to the project area.

***Evening Hours***

Recognizing that due to changes in the structure of families, Cypress residents are increasingly becoming more of an evening consumer. Merchants working with the Chamber should explore occasional evening promotions such as Thursday or Friday evening business hours.

***Appreciation Week and Business Recognition***

The City shall organize an annual Business Appreciation week, and a recognition program to promote businesses that have made significant improvements, and award those which contribute to the entire community as significant sales tax producers and/or employers.

***Downtown Maintenance***

Once the public improvements are completed, enhanced maintenance will be required to insure the ongoing attractiveness of the area. The City, working with the Chamber of Commerce, shall explore the possibility of forming a Business Improvement District to fund an increased level of public area maintenance.

**7.4.2 Business Attraction**

Assisting and promoting existing business is part of the equation. Attracting new quality business and investment is essential. The land use incentives embodied in the Specific Plan make it easier to open new businesses, but a more assertive approach is also necessary to attract high priority businesses.

The City recognizes that certain businesses can enhance the project area and become major attractions which can draw new consumers, and eventually more businesses. The City shall target specific businesses which can effectively operate in the Districts, such as restaurants, furniture stores, and other specialty retailers. A database shall be established and maintained to provide potential businesses the information they need to evaluate a relocation or expansion decision.

## ORDINANCE NO. 1162

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF CYPRESS, CALIFORNIA, ADOPTING AN AMENDMENT TO THE LINCOLN AVENUE SPECIFIC PLAN AS FOLLOWS: SECTION 4.2, SPECIFIC PLAN LAND USES, 4.3, LAND USE CHARACTER AND EXHIBIT 3, LAND USE MAP; SECTION 4.4, TABLE 1, PERMITTED LAND USE MATRIX; AND SECTION 4.5, TABLE 2, DEVELOPMENT STANDARDS MATRIX, BY ADDING A NEW COMMERCIAL PRESERVATION OVERLAY DISTRICT AND DECREASING THE MAXIMUM RESIDENTIAL BUILDING HEIGHT IN THE CM COMMERCIAL MIXED-USE, CV CAMPUS VILLAGE, AND PS PUBLIC & SEMI-PUBLIC DISTRICTS TO 30 FEET.

WHEREAS, an addendum to the Mitigated Negative Declaration was prepared according to the requirements of the California Environmental Quality Act (CEQA) guidelines; and

WHEREAS, a duly noticed public hearing for consideration of this specific plan amendment was held by the City Council of the City of Cypress on the 14<sup>th</sup> day of November, 2016; and

WHEREAS, the City Council of the City of Cypress considered evidence presented at the public hearing including a staff report and public testimony; and

WHEREAS, following the public hearing and Council discussion, a motion was made to approve the Lincoln Avenue Specific Plan Amendment as proposed and stipulated herein and in the attached Exhibits A, B, C, and D.

WHEREAS, as provided in Section 4.02.080 of the Cypress Zoning Code, the City Council has therefore determined the proposed specific plan amendment to be consistent with the following findings:

- (1) The proposed development is in conformance with the goals, policies, and objectives of the general plan;
- (2) The design, location, shape, size, operating characteristics, and the provision of public and emergency vehicle (e.g., fire and medical) access and public services and utilities (e.g., fire protection, police protection, water, schools, solid waste collection and disposal, storm drainage, wastewater collection, treatment, and disposal, etc.), would ensure that the proposed development would not endanger, jeopardize, or otherwise constitute a hazard to the public health, safety, or general welfare, or injurious to the property or improvements in the vicinity and base zoning district in which the property is located;
- (3) The proposed development would:
  - a. Ensure quality development by encouraging greater creativity and aesthetically pleasing designs for the individual components of the development and the development as a whole;
  - b. Have no impact on the timely provision of essential public services and facilities consistent with the demand for the services and facilities; and
  - c. Promote a harmonious variety of housing choices and commercial and industrial activities, if applicable; attain a desirable balance of residential and/or employment opportunities; and result in a high level of amenities and the preservation of the natural and scenic qualities of open space.
- (4) The subject area is:
  - a. Physically suitable for the proposed land use designation(s);
  - b. Physically suitable for the type and density/intensity of development being proposed;
  - c. Adequate in shape and size to accommodate the proposed development; and

- d. Served by streets adequate in width and pavement type to carry the quantity and type of traffic expected to be generated by the proposed development.

NOW, THEREFORE, the City Council of the City of Cypress does HEREBY ORDAIN as follows:

SECTION 1: The Recitals set forth above are true and correct and incorporated herein by this reference.

SECTION 2: The Lincoln Avenue Specific Plan, Section 4.2, Specific Plan Land Uses, paragraph 3, shall be amended to read as follows:

"The Lincoln Avenue Specific Plan area is comprised of eight land use districts and two overlays, as indicated on Exhibit 3, Lincoln Avenue Specific Plan Land Use Map. Central to the vision for the Lincoln Avenue Corridor is the creation of mixed use categories that accommodate both commercial and multi-family uses. The land use districts include Commercial Mixed Use, Residential Mixed Use, Residential (30 DU/Acre), Campus Village and Downtown. Industrial Light, Public/Semi-Public and Mobile Home Park land use districts are also included in the Plan. The Plan also provides for a Quasi-Public Overlay in the Commercial Mixed Use category. A Commercial Preservation Overlay is provided for select properties including those located at major intersections in the Lincoln Avenue Specific Plan area. Each planning area is distinguished by variations in type and intensity of land use, and/or development standards; yet linked by common streetscape design elements and similar mixed use characteristics.

SECTION 3: The Lincoln Avenue Specific Plan, Section 4.3, Specific Plan Land Uses, paragraph 1, shall be amended to read as follows:

"The general character of each of the eight land use districts and two overlays is described below:"

SECTION 4: The Lincoln Avenue Specific Plan, Section 4.3, Specific Plan Land Uses, a description of the new Commercial Preservation Overlay shall be added to read as follows:

"Commercial Preservation Overlay"

This overlay is associated with commercial mixed use, downtown, and campus village areas located along Lincoln Avenue. Parcels within this overlay are restricted to commercial uses only. Residential uses are not permitted within this overlay. (Specific Plan Amendment No. 2016-01)

SECTION 5: The Lincoln Avenue Specific Plan Land Use Map (Exhibit 3 in the Specific Plan) shall be replaced with the attached revised land use map Exhibit "B".

SECTION 6: The Lincoln Avenue Specific Plan, Section 4.4, Table 1, Permitted Land Use Matrix, shall be amended to prohibit residential uses, including Single Room Occupancy Housing, in the Commercial Mixed Use, Downtown, and Campus Village Districts, as provided on Exhibit "C" attached to this Ordinance.

SECTION 7: The Lincoln Avenue Specific Plan, Section 4.4, Table 1, Permitted Land Use Matrix, Key and Footnotes section, shall be amended to include footnote no. 11 as provided on Exhibit "C" attached to this Ordinance.

SECTION 8: The Lincoln Avenue Specific Plan, Section 4.5, Table 2, Development Standards Matrix, shall be amended to decrease the maximum building height from 50 feet to 30 feet as provided on Exhibit "D" attached to this Ordinance.

SECTION 9: The proposed Amendment to the Lincoln Avenue Specific Plan is consistent with the Specific Plan land use designation of the 2001 Cypress General Plan Land Use Element.

SECTION 10: The addendum to the 2009 Mitigated Negative Declaration for the 2009 General Plan Housing Element Amendment project was prepared in accordance with the requirements of the California Environmental Quality Act (CEQA) guidelines. Development projects subject to the amended provisions would be individually analyzed for CEQA compliance on a project by project basis.

SECTION 11: Severability. The City Council declares that, should any provision, section, paragraph, sentence, or word of this Ordinance be rendered or declared invalid by any final court action in a court of competent jurisdiction, or by reason of any preemptive legislation, the remaining provisions, sections, paragraphs, sentences and words of this Ordinance shall remain in full force and effect.

SECTION 12: The City Clerk of the City of Cypress shall certify to the passage and adoption of this Ordinance and the same shall be posted as required by law and shall take effect as provided by law.

FIRST READ at a regular meeting of the City Council of said City on the 14<sup>th</sup> day of November, 2016 and finally adopted and order posted at a regular meeting held on the 28<sup>th</sup> day of November, 2016.

Marellen Yarc  
MAYOR OF THE CITY OF CYPRESS

ATTEST:

Denise Basham  
CITY CLERK OF THE CITY OF CYPRESS

STATE OF CALIFORNIA )  
COUNTY OF ORANGE ) SS

I, DENISE BASHAM, City Clerk of the City of Cypress, DO HEREBY CERTIFY that the foregoing Ordinance was duly adopted at a regular meeting of said City Council held on the 28<sup>th</sup> day of November, 2016, by the following roll call vote:

AYES: 4 COUNCIL MEMBERS: Johnson, Peat, Morales and Yarc  
NOES: 1 COUNCIL MEMBERS: Berry  
ABSENT: 0 COUNCIL MEMBERS: None

Denise Basham  
CITY CLERK OF THE CITY OF CYPRESS

**4.0 DEVELOPMENT CRITERIA**

This chapter establishes the land use districts within the Lincoln Avenue Specific Plan area and the development standards that apply within each district. Together, the land use districts and the development criteria provide the development provisions for the Specific Plan area. The development criteria, together with the design guidelines (following chapter) implement the goals of the Specific Plan. They are consistent with the goals and policies of the General Plan and, in most cases, with the requirements of the Zoning Ordinance.

**4.1 General Provisions**

**Relationship to Zoning Ordinance**

The land use regulations and development standards contained herein constitute the primary zoning provisions for the Lincoln Avenue Specific Plan area. These regulations are in addition to the current Zoning Ordinance provisions of the City of Cypress Municipal Code. Where there is a conflict between the regulations of the Zoning Ordinance and this Specific Plan, the regulations provided herein shall prevail. Where direction is not provided in this Specific Plan, the provisions of the Zoning Ordinance shall prevail.

The development standards contained herein are minimum requirements. In reviewing individual projects requiring discretionary approval, the City Council may impose more restrictive standards or conditions as it deems necessary to accomplish the goals and objectives of this Specific Plan.

**Interpretation**

The Director of Community Development shall have the responsibility to interpret the provisions of this Specific Plan.

If an issue or situation arises that is not sufficiently provided for or is not clearly understandable, those regulations of the Cypress Zoning Ordinance that are most applicable shall be used by the Director as guidelines to resolve the unclear issue or situation. This provision shall not be used to permit uses or procedures not specifically authorized by this Specific Plan or the Zoning Ordinance.

**Definitions**

Words, phrases and terms not specifically defined herein shall have the same definition as provided for in the Cypress Zoning Ordinance. When used in this Specific Plan, the term "Director" shall mean the Director of Community Development or an appointed representative.

**Development Review**

To ensure compliance with all applicable policies, land use provisions, development criteria and design guidelines contained in this Specific Plan area, projects will be reviewed in compliance with Section 7.1 of the Lincoln Avenue Specific Plan. The Specific Plan provides regulatory and policy direction for the approval of discretionary permits in addition to the requirements set forth in the Zoning Ordinance.

**Installation of Public Improvements**

Project developers are responsible for providing adjacent public improvements (e.g., curbs, gutters, sidewalks, street lighting, parkway landscaping, street trees, and other similar items) in compliance with Section 7.2 of the Lincoln Avenue Specific Plan and the standards of the City at the time of development.



### Amendments

This Specific Plan, including the Land Use Map, may be amended in compliance with Section 7.1.3 of the Lincoln Avenue Specific Plan.

### Violations

Any persons, firm, or corporation, whether a principal, agent, employee, or otherwise, violating any provisions of these regulations shall be subject to the penalties and provisions of the Cypress Municipal Code.

## 4.2 Specific Plan Land Uses

The Specific Plan components articulate a vision for the Lincoln Avenue Corridor as an attractive, high quality, pedestrian friendly, mixed use activity center. As stated in the Land Use Element of the Cypress General Plan, the Specific Plan is intended to provide development flexibility within the Lincoln Avenue Corridor and provide economic inducements for revitalization. The Specific Plan provides incentives for the development of uses and design features to facilitate upgrading of the area. The development of larger scale uses, such as furniture, appliance and retail outlets, theaters and entertainment is encouraged, as are groupings of complementary uses, such as restaurants and specialty retail. Multi-family residential is encouraged as a means of stimulating commercial activity on the corridor.

Development of the Lincoln Avenue Corridor will have a mixed use character. Commercial and residential land uses are intended to be integrated. Master planning and lot consolidation are encouraged to achieve larger and better integrated development projects. Design guidelines and development standards provided in the Specific Plan promote pedestrian orientation and linkages within and between uses, including plazas and covered entry spaces; and shared parking with satellite parking facilities serving multiple uses.

The Lincoln Avenue Specific Plan area is comprised of eight land use districts and two overlay zones, as indicated on Exhibit 3, *Lincoln Avenue Specific Plan Land Use Map*. Central to the vision for the Lincoln Avenue Corridor is the creation of mixed use categories that accommodate both commercial and multi-family uses. The land use districts include Commercial Mixed Use, Residential Mixed Use, Residential (30 DU/Acre), Campus Village and Downtown. Industrial Light, Public/Semi-Public and Mobile Home Park land use districts are also included in the Plan. The Plan also provides for a Quasi-Public Overlay in the Commercial Mixed Use category. A Commercial Preservation Overlay is provided for select properties including those located at major intersections in the Lincoln Avenue Specific Plan area. Each planning area is distinguished by variations in type and intensity of land use, and/or development standards; yet linked by common streetscape design elements and similar mixed use characteristics.

Table 2 lists the maximum and anticipated average floor area ratios for each district. Average development intensities within the area are anticipated to demonstrate a floor area ratio (FAR) of 0.5:1, consistent with the General Plan, Table LU-4 "Land Use Policy Implications." Floor area ratio bonuses of up to 1:1 may be allowed within the Campus Village and Commercial Mixed Use districts in order to encourage mixed use development containing multi-family residential over ground floor commercial subject to the requirements specified in Table 2.

## 4.3 Land Use Character

The general character of each of the eight land use districts and two overlay zones is described below:

### Campus Village

Campus Village, located east of Valley View Street and bounded by the City limits, is envisioned as a high density activity center, linking to and encompassing portions of Cypress College. The Campus Village District is primarily commercial while also allowing for residential mixed use and high density residential. Primary permitted land uses within this district included entertainment, cultural, retail, restaurant, multi-family, and other uses oriented toward a college student population. Regional commercial uses may occur if the consolidation of parcels is feasible, and the use is compatible with the adjacent area. Special design treatments and development standards distinguish Campus Village as a focal point along the Corridor.

### Commercial Mixed Use

Commercial Mixed Use is a medium density category, located on the north and south sides of Lincoln Avenue, west of Valley View Street, and extending to the westerly project limits. This designation also encompasses portions of Walker Street that have been identified within the City General Plan for inclusion in the Lincoln Avenue Corridor Specific Plan. The commercial Mixed Use District offers the widest range of commercial uses. Both community serving retail and multifamily residential uses are accommodated. Primary permitted land uses include retail, restaurant, office, personal services, and multi-family residential uses.

### Residential Mixed Use

The residential mixed use district is primarily for residential development (medium density, high density or mixed use), while also allowing for limited commercial development. The planning area encompasses segments of the corridor west of Moody Street and east of Denni Street. Other uses permitted in this district include various neighborhood serving uses such as beauty shops, gift shops and general retail. Conditional uses include grocery stores, furniture sales, theaters and video stores.

### Residential (30 DU/Acre)

The residential district encompasses three designated parcels (totaling 4.8 acres) located on the south side of Lincoln Avenue, east of Denni Street. These sites are intended for exclusively high density residential development (20-30 dwelling units per acre) by right. (Specific Plan Amendment No. 2009-02)

### Downtown

Downtown is a medium density commercial mixed use district, located at Walker Street and Lincoln Avenue. This district emphasizes a historically envisioned Downtown for Cypress and establishes an intimate feel in the Downtown. The Downtown district is primarily a commercial category with more limited uses due to small lot sizes. Primary land uses within the Downtown are similar to the Commercial Mixed Use planning area. Many of the special design treatments and development standards of the Campus Village are repeated within the Downtown to distinguish it as a focal point along the Corridor. Key design factors focusing on pedestrian access includes enhanced pavement areas, landscaping and a clock tower as a focal point near the intersection of Walker Street and Lincoln Avenue.

### Industrial Light

The Industrial Light District is bounded by Walker Street, Grindlay Street and the Southern Pacific Rail line, and is immediately south and southeast of the existing City Yard. Allowable land uses for the Industrial Light District are those listed in the Cypress Zoning Code for the ML Industrial Light Zone which allows for light industrial and complementary service commercial businesses. Pedestrian linkages between this planning area and the adjacent Commercial Mixed Use Area fronting Lincoln Avenue are strongly encouraged.

### Public and Semi-Public

Public and Semi-Public locations within the planning area includes the City Yard, the Senior Center west of Grindlay Street and property east of Valley View Street, adjacent to Cypress College and the Campus Village District. Allowable land uses for the Public and Semi-Public District are per the Cypress Zoning Code for the Public and Semi-Public zone which allows for public uses.

### Mobile Home Park

The Mobile Home Park District is situated at the southeast corner of Lincoln Avenue and Bloomfield Street. Allowable land uses for Mobile Home Park are per the Cypress Zoning Code for the Mobile Home Park zone which is intended exclusively for mobile home parks.

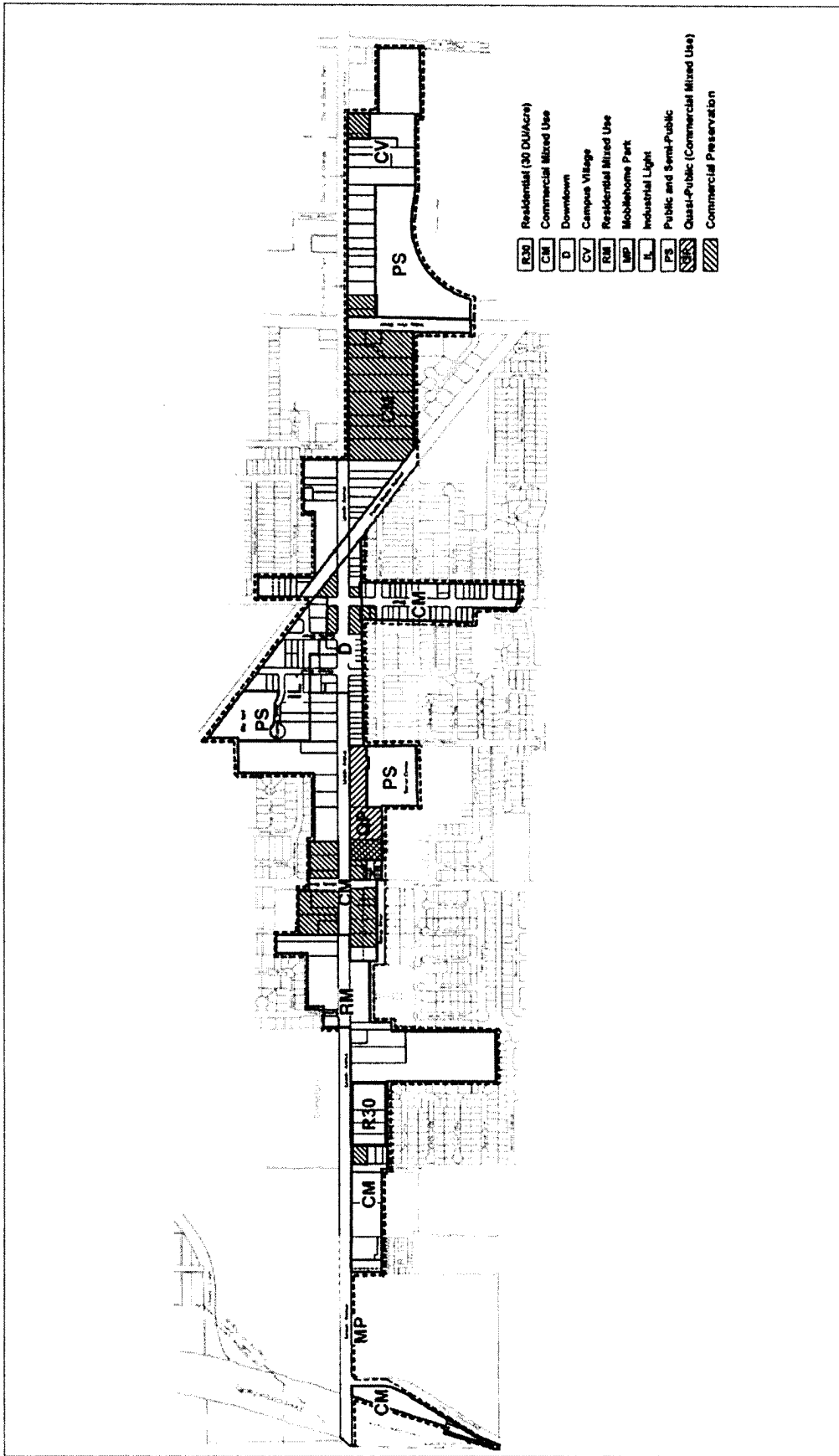
### Quasi Public Overlay

This overlay is associated with a commercial mixed use area located adjacent to the existing Senior Center and fronting onto Lincoln Avenue. Allowable land uses for the Quasi-Public Overlay of the commercial mixed use category are those listed in the Public and Semi-Public zone in addition to those listed in the commercial mixed use category.

### Commercial Preservation Overlay

This overlay is associated with commercial mixed use, downtown, and campus village areas located along Lincoln Avenue. Parcels within this overlay zone are restricted to commercial uses only. Residential uses are not permitted within this overlay zone. (Specific Plan Amendment No. 2016-01)

# EXHIBIT "B"



(DATE)  
**Lincoln Avenue Specific Plan Land Use Map**  
 Exhibit 3



## Exhibit "C"

Table 1  
PERMITTED LAND USE MATRIX -- CONTINUED

| Use   | Commercial Mixed Use | Downtown          | Campus Village    | Residential Mixed Use | Residential (30 DU/Acre) |
|---|----------------------|-------------------|-------------------|-----------------------|--------------------------|
| Photographic Studio   | P                    | P                 | P                 | P                     | X                        |
| Playland Associated with a Restaurant   | C                    | C                 | C                 | X                     | X                        |
| Pool Sales, Service and Supplies  | C                    | C                 | C                 | C                     | X                        |
| Post Office Branch  | C                    | C                 | C                 | X                     | X                        |
| Printing and Publishing   | C                    | C                 | C                 | X                     | X                        |
| Professional Office   | P                    | P                 | P                 | P                     | X                        |
| Public Storage Facility (Mini-warehouse)  | C                    | C                 | C                 | X                     | X                        |
| Public Utility Service Office   | P                    | P                 | P                 | P                     | X                        |
| Public Utility Substation, Reservoir, or Pumping Plant, not including office        | X                    | X                 | X                 | X                     | X                        |
| Recording Studio  | C                    | C                 | C                 | X                     | X                        |
| Recreation Facility, public or private  | C                    | C                 | C                 | C                     | X                        |
| Recreational Vehicle Sales, Service, and Storage                                    | C                    | X                 | X                 | X                     | X                        |
| Residential: Mixed Use High Density   | C/X <sup>11</sup>    | C/X <sup>11</sup> | C/X <sup>11</sup> | C                     | X                        |
| Residential: High Density   | C/X <sup>11</sup>    | X                 | C/X <sup>11</sup> | P                     | P                        |
| Residential: Medium Density (Small Lot Single Family)                               | X                    | X                 | X                 | C                     | X                        |
| Restaurant, Drive-through, Fast Food, or with Outdoor Seating - see also "Playland" | C                    | C                 | C                 | X                     | X                        |
| Restaurant, Sit-down  | P                    | P                 | P                 | C                     | X                        |
| Restaurant, With Alcohol Sales <sup>4</sup>   | C                    | C                 | C                 | C                     | X                        |
| Retail Sales, General   | P                    | P                 | P <sup>4</sup>    | P                     | X                        |
| Reverse Vending Machine and Storage   | X                    | X                 | X                 | X                     | X                        |
| Satellite Dish Antenna <sup>4</sup>   | C                    | C                 | C                 | C                     | X                        |
| Shoe Repair/Sales   | P                    | P                 | P                 | P                     | X                        |
| Sign Painting Shop (within enclosed building - no spray booth)                      | C                    | C                 | C                 | X                     | X                        |
| Single-Room Occupancy Housing <sup>8</sup>  | C/X <sup>11</sup>    | X                 | C/X <sup>11</sup> | X                     | X                        |

**Table 1  
PERMITTED LAND USE MATRIX -- CONTINUED**

| KEY AND FOOTNOTES  |               |                                     |
|--|---------------|-------------------------------------|
| <b>Key:</b>  |               |                                     |
| X = not permitted  | P = permitted | C = conditional use permit required |
| <b>Footnotes:</b>  |               |                                     |
| 1 - large appliance stores greater than 5,000 square feet  |               |                                     |
| 2 - small appliance stores up to 5,000 square feet   |               |                                     |
| 3 - subject to adequate parking for both rental vehicles and required parking spaces for on-site uses  |               |                                     |
| 4 - subject to additional special use standards in the Cypress Zoning Code   |               |                                     |
| 5 - 5,000 sq. feet or less is permitted; for over 5,000 sq. feet, conditional use permit is required   |               |                                     |
| 6 - subject to Air Quality Management District (AQMD) permit requirements  |               |                                     |
| 7 - 2,500 square feet or less is permitted; for over 2,500 square feet, conditional use permit is required   |               |                                     |
| 8 - subject to additional single-room occupancy standards in the Cypress Zoning Code   |               |                                     |
| 9 - subject to additional standards and review by Cypress Police Department  |               |                                     |
| 10 - subject to additional standards in the Cypress Zoning Code  |               |                                     |
| <u>11 – residential uses are not permitted on parcels within the Commercial Preservation Overlay Zone (refer to Exhibit 3) (Specific Plan Amendment 2016-01)</u> |               |                                     |

Table 2  
DEVELOPMENT STANDARDS MATRIX

| General Requirements   | Campus Village [11] | Commercial Mixed Use [11] | Residential Mixed Use        | Downtown | Industrial Light | Public & Semi-Public [11] | Mobile Home Park | R30 [9]       |
|--|---------------------|---------------------------|------------------------------|----------|------------------|---------------------------|------------------|---------------|
| Minimum Lot Area (square feet)   | 20,000              | 10,000                    | 10,000                       | 10,000   | 10,000           | 43,560                    | 871,200          | 10,000        |
| Minimum Lot Frontage (feet)  | 300                 | 150                       | 150                          | 100      | 100              | 200                       | 250              | 100           |
| Maximum Floor Area Ratio (FAR)   | 0.5:1               | 0.5:1                     | 0.5:1                        | 0.5:1    | 0.5:1            | 0.5:1                     | 0.5:1            | N/A           |
| Maximum FAR with Density Bonus   | 1:1 [1]             | 1:1 [2]                   |                              |          |                  |                           |                  | N/A           |
| Maximum Building Height (feet)   | 50/30 [10]          | 50/30 [10]                | 50                           | 35       | 35               | 50/30 [10]                | 35               | 50            |
| Minimum Building Façade located within Landscape Setback Area (%) [3]  | 25%                 |                           | N/A                          | 50%      |                  |                           |                  | N/A           |
| Maximum Lot Coverage (%)   | —                   | —                         | —                            | 60%      | 60%              | 40%                       | 75%              | —             |
| Minimum Front Setback (feet)   | 2 [4]               | 10                        | 10                           | 2        | 10               | 30                        | 6 [5]            | 10            |
| Maximum Front Setback (feet)   | 10 [6]              | —                         | —                            | 10       | —                | —                         | —                | —             |
| Minimum Side Setback (feet)  | 5                   | 5                         | 5                            | 5        | 5                | —                         | 5                | 5             |
| Minimum Side Setback Adjacent to a Residential Zone (feet)   | 20                  | 20                        | 20                           | 20       | 100              | 25                        | 20               | —             |
| Minimum Rear Setback (feet)  | 5                   | 5                         | 5                            | 5        | 0                | 25                        | 3                | 5             |
| Minimum Rear Setback Adjacent to a Residential Zone (feet)   | 20                  | 20                        | 20                           | 20       | 100              | —                         | 20               | —             |
| Maximum Dwelling Units (D.U.) Per acre (net)   |                     |                           |                              |          |                  |                           |                  |               |
| <ul style="list-style-type: none"> <li>• Mobile Home Park</li> <li>• Residential Mixed Use High Density</li> <li>• Residential High Density</li> <li>• Residential Medium Density</li> </ul> | *<br>*              | *<br>*                    | 30 D.U. [7]*<br>30 D.U. [7]* | *        |                  |                           | 7                | 30 D.U. [7]*  |
| Dwelling Unit Size for High Density Residential  |                     |                           |                              |          |                  |                           |                  |               |
| <ul style="list-style-type: none"> <li>• Residential Mixed Use High Density</li> <li>• Residential High Density</li> <li>• Residential Medium Density</li> </ul>                             | *<br>*              | *<br>*                    | *<br>*<br>*                  | *        |                  |                           |                  |               |
| Minimum Private – Open Space [8]   |                     |                           | 200 S.F./Unit                |          |                  |                           |                  | 200 S.F./Unit |

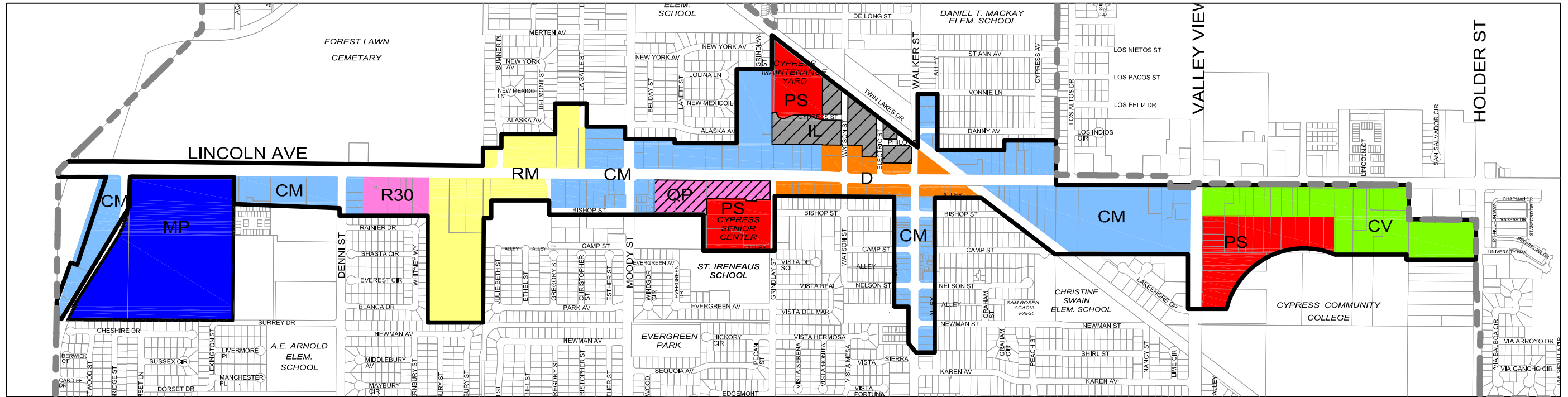
**Table 2  
DEVELOPMENT STANDARDS MATRIX**

| General Requirements  | Campus Village   | Commercial Mixed Use   | Residential Mixed Use  | Downtown   | Industrial Light   | Public & Semi-Public | Mobile Home Park | R30 [9]  |
|---|--|--|--|--|--|----------------------|------------------|--|
| Setback between Parking Area and Property Line  | 10 feet landscaped, with 3-foot decorative screen wall located at rear of setback line | 10 feet landscaped, with 3-foot decorative screen wall located at rear of setback line | 10 feet landscaped, with 3-foot decorative screen wall located at rear of setback line | 10 feet landscaped, with 3-foot decorative screen wall located at rear of setback line | 10 feet landscaped, with 3-foot decorative screen wall located at rear of setback line | *                    |                  | 10 feet landscaped, with 3-foot decorative screen wall located at rear of setback line |
| Minimum Distance between Buildings on Same Parcel (feet) for Non-Residential Uses [9] | *  | *  | *  | *  | *  | *                    | N/A              | N/A  |
| Minimum Distance between Buildings on Same Parcel (feet) for Residential Uses [9]     | *  | *  | *  | *  | N/A  | *                    | *                | *  |

\* Refer to the City of Cypress Zoning Ordinance.

- [1] Within the Campus Village, a floor area ratio bonus allowing a maximum FAR of 1:1 can be achieved only by development projects that contain: [1] a minimum lot area of one acre (net); and [2] a mixed use character consisting of at least two of the following uses: mixed-use high density residential, retail, restaurant, cultural/entertainment.
- [2] Within the Commercial Mixed Use district, a floor area ratio bonus permitting a maximum FAR of 1:1 can be achieved only by development projects that contain: [1] a minimum lot size of one acre (net); and [2] a mixed use character consisting of mixed-use high density residential with commercial.
- [3] Landscape Setback Area is the 10' area measured from the Lincoln Avenue public right-of-way. In no instances shall any building be located closer than 24" from the Lincoln Avenue public right-of-way.
- [4] Buildings may encroach into the 10' Landscape Setback Area, but no closer than 24" from the rear of the Lincoln Avenue public right-of-way. Such encroachments shall be consistent with the Design Guidelines, Section 5.0 of the Specific Plan. In no instance shall parking encroach into the 10' Landscape Setback Area.
- [5] At mobile home parks, an 8' decorative wall shall be provided at the rear of the front setback line, across the full length of the property where it fronts on Lincoln Avenue.
- [6] Within the Campus Village District, the maximum 10' front building setback has been eliminated (Amended 11-13-2006).
- [7] Minimum 20 DU/Acre (Amended 10-26-2009).
- [8] Includes private open space or shared open space. A minimum linear dimension of 50 feet shall be required for shared open space (Amended 10-26-2009).
- [9] Amended 10-26-2009.
- [10] Maximum non-residential and residential building heights are 50 feet and 30 feet, respectively. (Specific Plan Amendment 2016-01).
- [11] Amended 11/14/2016. (Specific Plan Amendment 2016-01)





**LEGEND**

- City Limits
- Specific Plan Boundaries

**Residential Zones**

- R30 - Residential (30 DU/Acre)
- CM - Commercial Mixed Use
- CV - Campus Village
- RM - Residential Mixed Use
- PS - Public and Semi-Public
- QP - Quasi-Public - Commercial Mixed Use
- D - Downtown
- IL - Industrial Light
- MP - Mobilehome Park



**LINCOLN AVENUE  
SPECIFIC PLAN LAND USE MAP**

**SCALE : 1" = 1000'**

