

FINAL • JUNE 2014

# Mackay Place Specific Plan



Prepared for:



Prepared by:



# MACKAY PLACE SPECIFIC PLAN

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**Lead Agency:**



**City of Cypress**

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Adopted

**June 9, 2014**

*Subject to voter approval on November 4, 2014*

## **ACKNOWLEDGEMENTS**

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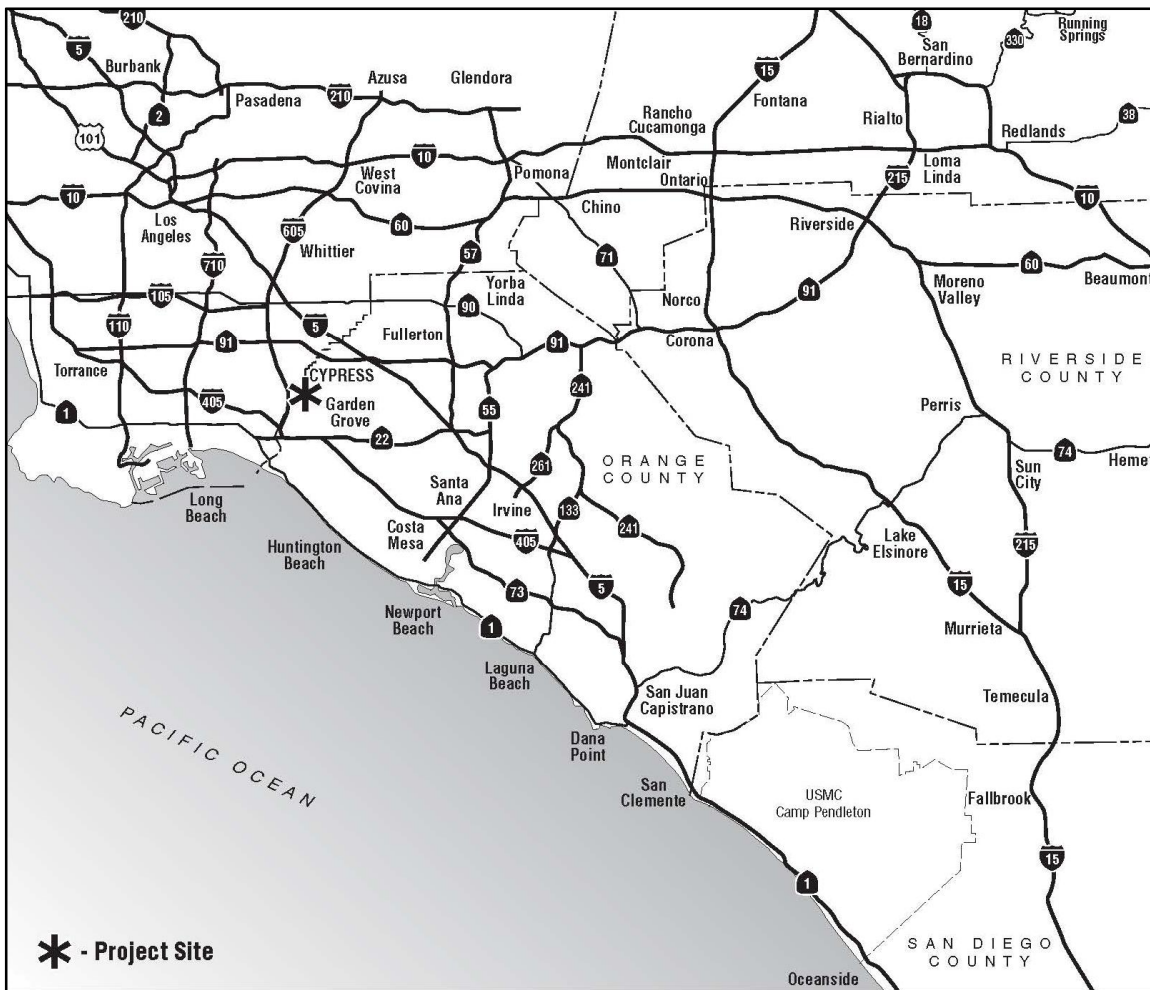
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## 1.0 SUMMARY

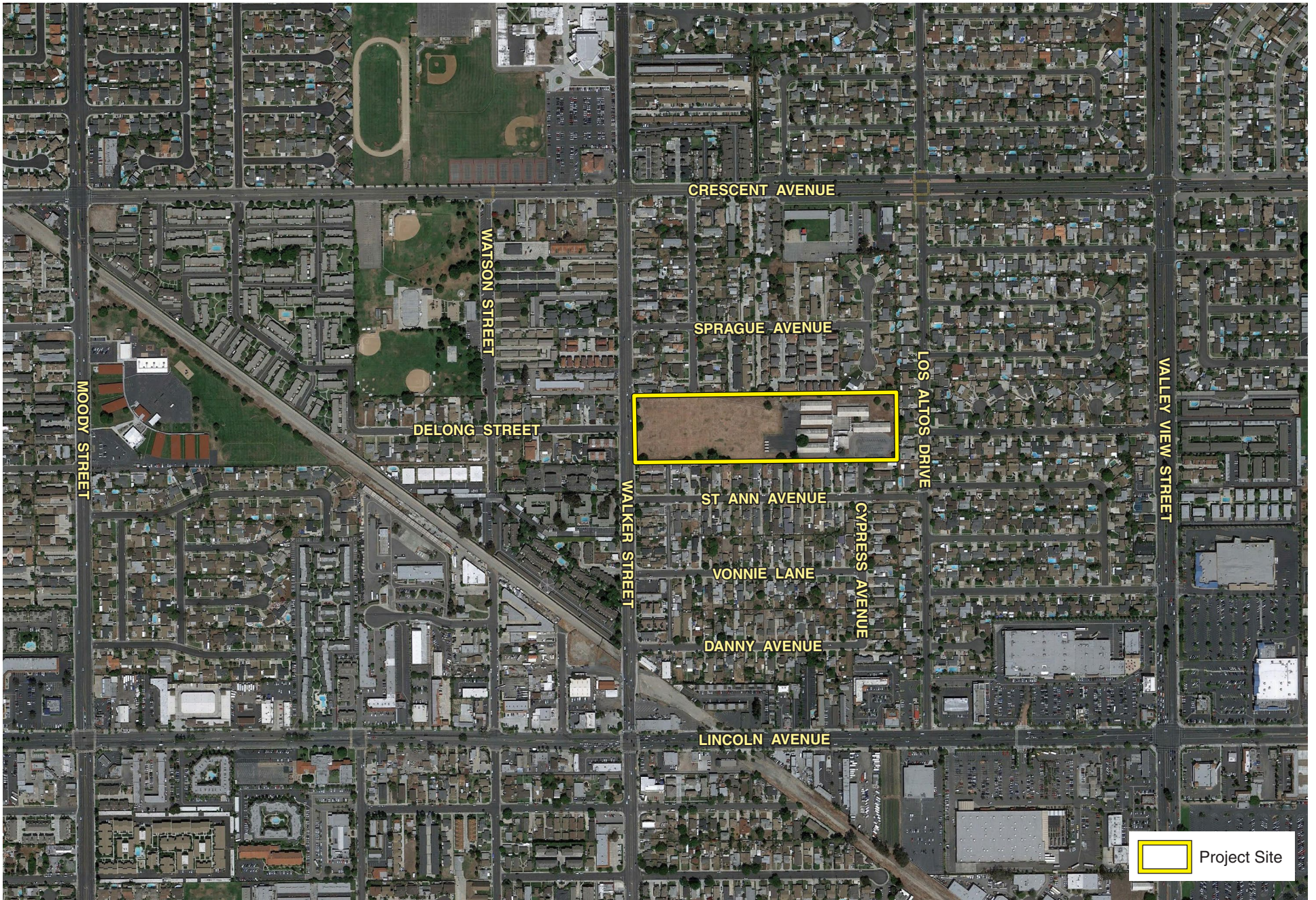
### 1.1 PROJECT SUMMARY

The Mackay Place property is comprised of approximately 9.7 acres within the northeastern portion of the City of Cypress, in Orange County, California. The project site consists of two parcels; a 6.8-acre residential parcel and a 2.9-acre public park parcel. Regionally, the project site is approximately 1/8-mile south of the City of La Palma boundary and immediately adjacent to the City of Buena Park boundary on the east. The project site is approximately three miles east of the San Gabriel River Freeway (Interstate 605). Refer to the *Regional Vicinity Map*, below.



Locally, the project site is located east of the Walker Street/Delong Street intersection and north of the Walker Street/St. Ann Avenue intersection. Along the northern, eastern, and southern boundaries, the site is bounded by single- and multi-family residences. Refer to Exhibit 1, *Local Vicinity Map*.





 Project Site

Source: Google Earth Pro Aerial



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MACKAY PLACE SPECIFIC PLAN  
**Local Vicinity Map**

**Exhibit 1**



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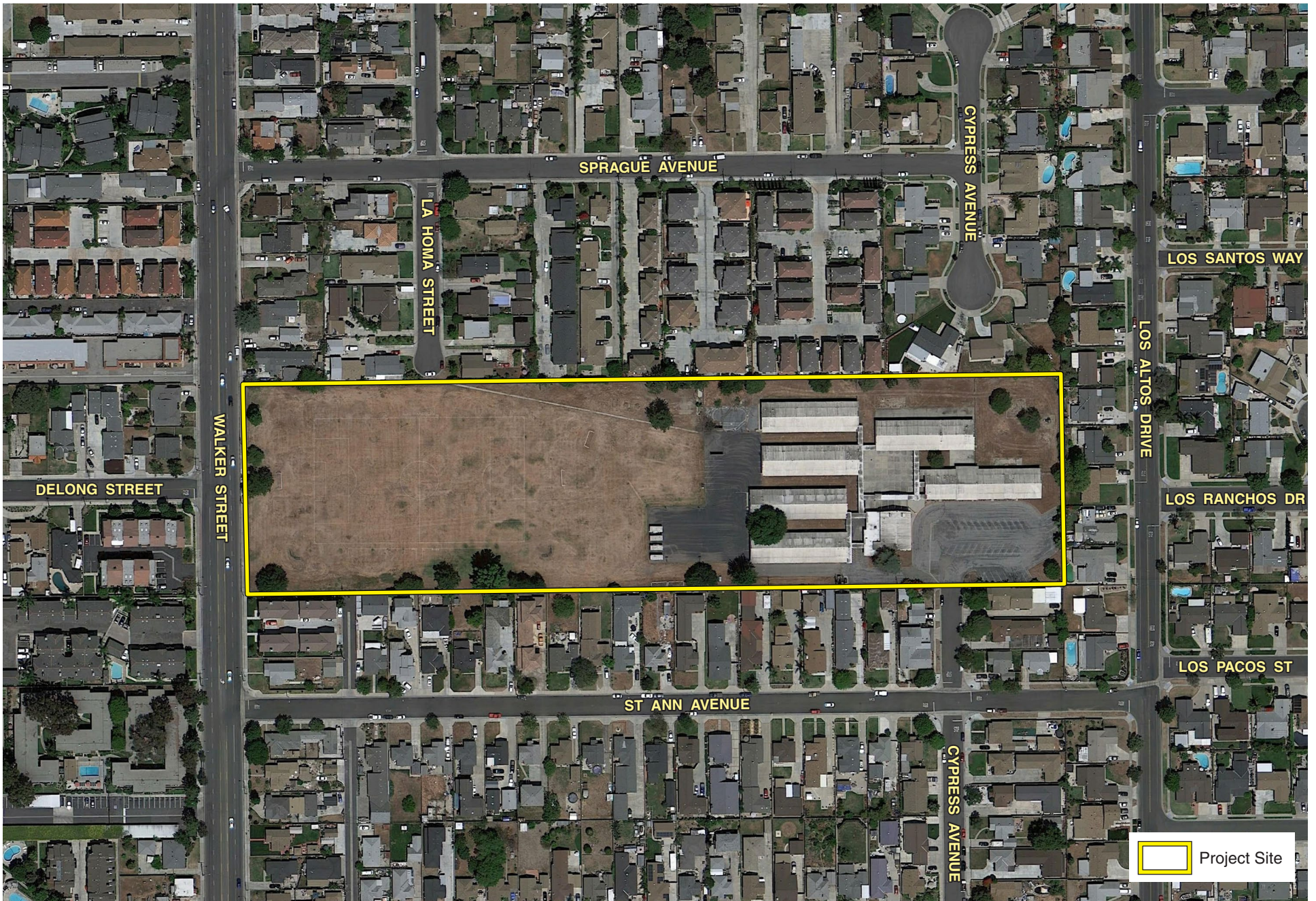
The Specific Plan area is comprised of the former Mackay Elementary School, which permanently closed in 1980 (refer to Exhibit 2, *Specific Plan Area*). The site is currently developed with the former school buildings and facilities, and is presently not being utilized for any specific land use. Eight buildings, a parking area, and grass and landscaped areas exist on-site. As part of the proposed project, all on-site buildings, parking lots, and grass and landscaped areas would be demolished and removed. The current General Plan land use designation for the Specific Plan area is Community Facility and Services. The area is zoned as Public and Semi Public (PS-1A). The proposed residential project will require approval of a General Plan Amendment to revise the land use designation of the 6.8 acre parcel from Community Facilities and Services to Specific Plan (the 2.9 acre public park parcel will be retained as Community Facilities and Services). In addition, a zone change from Public and Semi-Public (PS-1A) to Planned Community (PC) is required to permit the proposed residential development (the 2.9 acre public park parcel will be retained as PS-1A). The Specific Plan development scenario will require the approval of a Conditional Use Permit and Tentative Tract Map as well.

The proposed Specific Plan land use will include the development of 47 detached single-family residential units on the 6.8 acre parcel. The residential units will be located around a central street system with access to Walker Street. The 2.9 acre public park parcel would be acquired by the City of Cypress from the Cypress School District for a future park. The purpose of the Mackay Place Specific Plan is to adopt a comprehensive land use plan for medium-density single-family residential and park use within the project boundaries (refer to Exhibit 3, *Site Plan*).

## 1.2 SPECIFIC PLAN CONTENTS

The Specific Plan contains six sections as follows:

- 1.0 **Summary** provides a brief overview of the project and describes the organization of the Specific Plan document.
- 2.0 **Introduction** provides a broad overview of the proposed plan.
- 3.0 **Planning Framework** outlines the Specific Plan project goals and discusses the proposed land use plan, circulation plan, and infrastructure and utilities plan.
- 4.0 **Development Regulations** sets forth provisions for the development of the Specific Plan area including standards for locating structures and providing landscaping, parking, and circulation.
- 5.0 **Implementation and Administration** provides provisions for amending the Specific Plan and procedures for administration and enforcement.
- 6.0 **Appendix** includes the General Plan consistency analysis and a legal description of the property.



Source: Google Earth Pro Aerial



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MACKAY PLACE SPECIFIC PLAN  
**Specific Plan Area**

**Exhibit 2**





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## **2.0 INTRODUCTION**

### **2.1 PURPOSE OF THE SPECIFIC PLAN**

The purpose of the Mackay Place Specific Plan is to allow for flexibility in the application of development regulations to encourage quality development that is compatible with the surrounding neighborhood and the community at large. The Specific Plan will allow for the development of medium-density single-family residential and park uses and provide a framework for quality site planning and development standards.

### **2.2 SPECIFIC PLAN AREA**

The Specific Plan area is located in the City of Cypress, east of the Walker Street/Delong Street intersection and north of the Walker Street/St. Ann Avenue intersection and encompasses approximately 9.7 acres. The Plan area consists of a 6.8-acre residential parcel and a 2.9 acre public park parcel under ownership by the Cypress School District. The project site was previously the Mackay Elementary School, which permanently closed in 1980.

The Specific Plan will be designated PC-13 (Planned Community)

### **2.3 EXISTING SETTING**

The 9.7-acre site includes eight school buildings totaling 31,490 square feet of vacant school facilities and an approximately 5-acre grass area. In addition, an approximately 40-space asphalt parking lot exists on-site. The school buildings have been abandoned and are boarded up. The existing General Plan designation for the area is Community Facilities and Services. The existing zoning is Public and Semi-Public (PS-1A).

To the north, the Specific Plan area is bounded by single- and multi-family residential units in the RS 6000 and RM 15 zones. To the east, the Plan area is bounded by single family residential units which are located outside of the City's limits, along Los Altos Drive, in the City of Buena Park. Along the southern boundary, the Plan area is bounded by multi-family residences in the RM 15 zone. The western boundary of the Plan area, across Walker Street, is zoned RM 15 and the existing uses are multi-family residential.

### **2.4 STATUTORY AUTHORITY**

The Mackay Place Specific Plan is established through the authority granted to the City of Cypress by the California Code, Title 7, Division 1, Chapter 3, Article 8, Sections 65450 through 65457 (Specific Plans). Specific Plans may be adopted as policy by resolution or as regulations by ordinance. The City of Cypress will adopt the Mackay Place Specific Plan by ordinance. State law requires public hearings by a legislative body, which is the City Council in the City of Cypress. The City Council must adopt the Specific Plan for it to take effect.



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As a regulatory plan, the Mackay Place Specific Plan will establish the zoning for the land within the Specific Plan area. Development plans or agreements, site plans, any future tentative tract or parcel maps, precise development plans, or any action requiring ministerial or discretionary approval within the boundaries of the Specific Plan shall be consistent with the Specific Plan as adopted by the City Council. These additional documents are anticipated to be adopted concurrently with the Specific Plan.

Actions deemed to be consistent with the Specific Plan shall be judged to be consistent with the Cypress General Plan, as mandated in Section 65454 of the California Government Code. Statements demonstrating consistency between the City's General Plan and the uses and development program provided for in this Specific Plan, as required by the California Government Code, are included in the Appendix of this document (Section 6.1).

## **2.5 CALIFORNIA ENVIRONMENTAL QUALITY ACT COMPLIANCE**

The Mackay Place Specific Plan was prepared in compliance with the California Environmental Quality Act (CEQA). Pursuant to State and local CEQA Guidelines, the City of Cypress prepared an Initial Study/Environmental Checklist. The City determined that the Specific Plan could result in environmental impacts, and therefore, required the preparation of an Environmental Impact Report (EIR). As the Lead Agency, the City of Cypress will implement a monitoring program for the adopted mitigation measures. To assist in this monitoring effort, a mitigation monitoring program will be developed by the City.



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## 3.0 PLANNING FRAMEWORK

The Planning Framework section outlines the Specific Plan goals and discusses the conceptual land use plan, circulation plan, and infrastructure and utilities plan.

### 3.1 SPECIFIC PLAN GOALS

The Mackay Place Specific Plan is designed to implement the City's goals for the project area. These goals include the following:

1. Establish a uniform concept plan for development of the Specific Plan area.
2. Allow for appropriate uses consistent with the General Plan.
3. Ensure that the type and form of development is compatible with the surrounding residential development, and the community as a whole.
4. Provide site access that minimizes traffic conflicts.
5. Encourage development that is attractive and aesthetically pleasing as seen from adjacent properties and public rights-of-way.
6. Increase the City's parkland acreage by acquiring a portion of the site for a future park.

### 3.2 LAND USE PLAN

The permitted land uses for the Specific Plan area are single-family residential and park uses. The Specific Plan area will include 47 detached single-family homes located around a central neighborhood street system with access from Walker Street. The single-family residential development will occur on a 6.8-acre parcel, providing a gross density of approximately 7.0 dwelling units per acre. The remaining 2.9-acre parcel will be acquired by the City of Cypress from the Cypress School District to develop a public park. Exhibit 3, *Site Plan*, indicates the preferred land use scenario for the Specific Plan area.



**Residential.** The detached single-family residential development within the Specific Plan area will incorporate two-story homes, ranging in size from a minimum of 2,400 square feet to approximately 2,800 square feet, and include a mix of three- and four-bedrooms. Each residential unit will include a front yard, side yard, rear yard, and two-car garage with two or three additional parking spaces on the driveway. Reciprocal use easements will be utilized in the side yard conditions to maximize the usable area between homes.

Table 3-1 provides the unit type, unit square feet, and the total number of each unit type for the residential use on-site.

**TABLE 3-1  
Residential Unit Type**

Unit Type	Unit Type	Unit Area (Sq. Ft.)	No. of Units
Plan 1	3BR/2.5BA	2,410	15
Plan 2	4BR/3BA	2,590	16
Plan 3	4BR/4BA	2,780	16
<b>TOTAL</b>			<b>47</b>

BR – Bedroom; BA –Bath

**Parking.** Each residential unit will include an attached private two-car garage. Two or three additional parking spaces are provided on each driveway. One unassigned guest parking space per residential dwelling unit will be provided along the private neighborhood street. Parking is further discussed in the Section 3.4, *Circulation*.

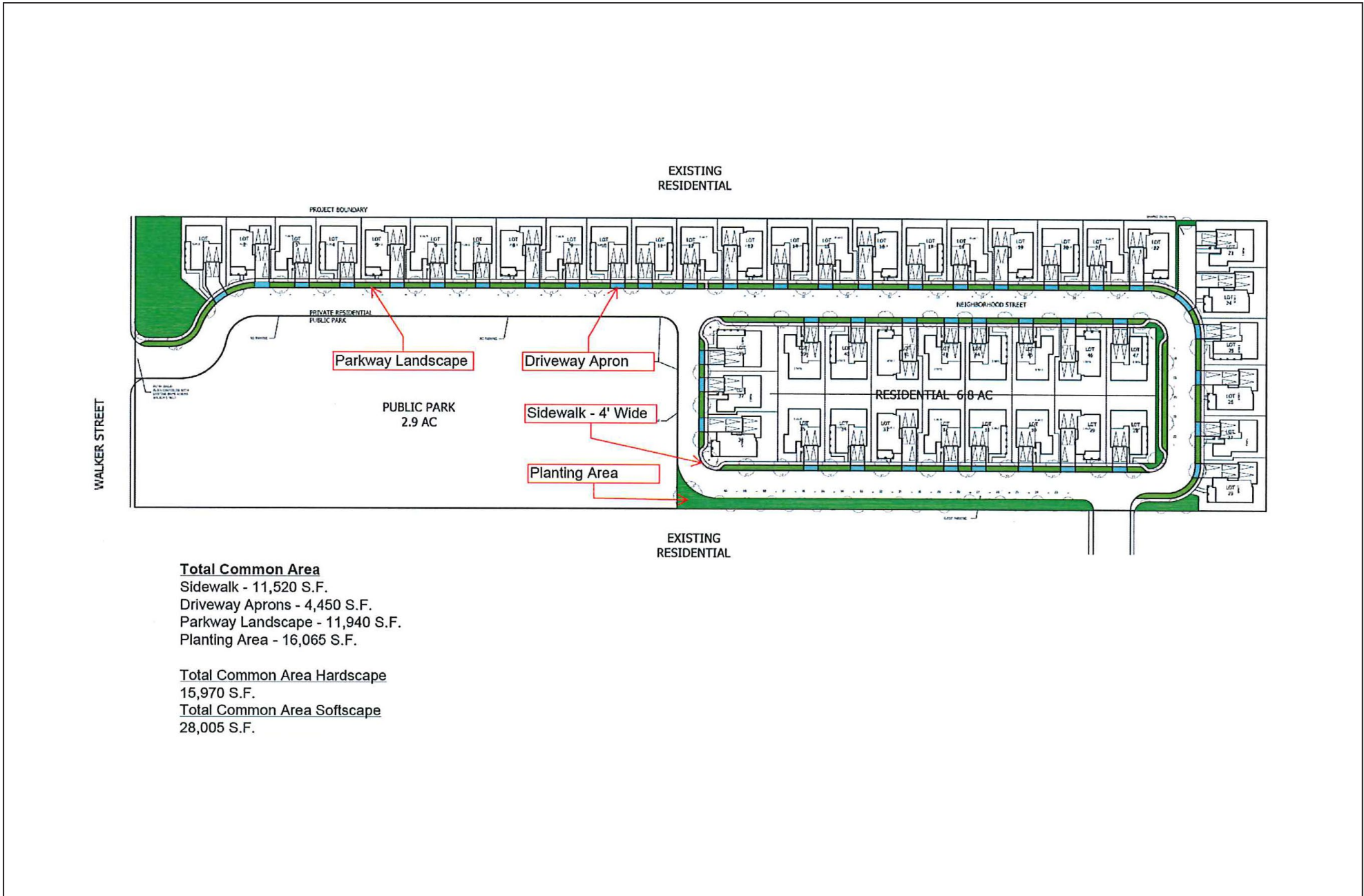
**Public Park.** The City of Cypress will acquire the 2.9-acre parcel from the Cypress School District to develop a recreational park for public use.

### 3.3 LANDSCAPE

A conceptual landscape plan for Mackay Place has been prepared (see Exhibit 4, *Conceptual Landscape Plan*). The conceptual landscape plan includes landscaped parkways along the neighborhood street system and a planting area along the southern boundary of the Specific Plan area, extending eastwardly from the proposed public park. The landscape plan also includes a water quality basin on the site's western edge at Walker Street. The conceptual landscape plan provides up to 11,900 square feet of parkway landscape, and a planting area up to 16,000 square feet, for a total of 28,005 square feet of common landscaped area. The total landscaped area provides approximately 595 square feet of common area per residential unit. Landscape design standards are provided in Section 4, Development Standards.

Upon completion of the residential dwelling units, a homeowners association will be formed to privately maintain the private street and landscaping/common areas. The conceptual landscape plan will not include a design for the proposed 2.9-acre public park.

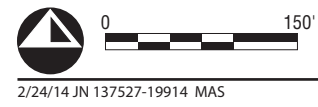




**Total Common Area**  
 Sidewalk - 11,520 S.F.  
 Driveway Aprons - 4,450 S.F.  
 Parkway Landscape - 11,940 S.F.  
 Planting Area - 16,065 S.F.

**Total Common Area Hardscape**  
 15,970 S.F.  
**Total Common Area Softscape**  
 28,005 S.F.

Source: JZMK Partners, FORMA. 11/7/13.



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MACKAY PLACE SPECIFIC PLAN  
**Conceptual Landscape Plan**



## 3.4 CIRCULATION

The Circulation Plan provides for safe vehicular and pedestrian movement within and around the Specific Plan area (refer to Exhibit 5, *Conceptual Circulation Plan*).

### 3.4.1 REGIONAL ACCESS

Regional access to the site is provided by the I-605, I-405, SR-22, and SR-91 freeways. The I-605 Freeway is located approximately three (3) miles west of the Specific Plan area. The I-405 and SR-22 Freeways are located approximately four (4) miles to the south. The SR-91 Freeway is located approximately 1.6 miles to the north, providing access to the Inland Empire.

### 3.4.2 PERIMETER ROADS

**Walker Street.** Walker Street is located adjacent to the western boundary of the Specific Plan area and is identified in the City's General Plan as a secondary arterial street. Walker Street is a north-south roadway with four lanes divided by a painted median. Class II bike lanes are generally provided on Walker Street throughout the project vicinity. The posted speed limit is 45 mph.

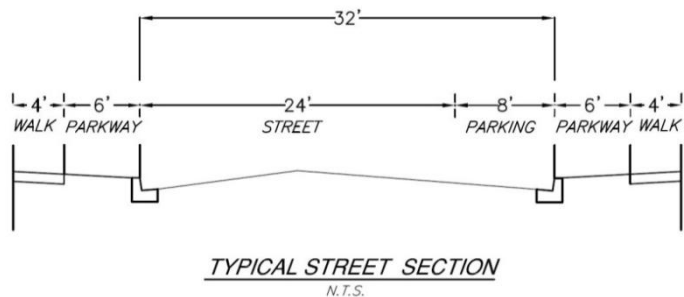
**Cypress Avenue.** Cypress Avenue will provide a gated emergency-vehicle-access-only at the southeast corner of the Specific Plan area. Cypress Avenue connects to St. Ann Avenue, providing east-west access to Walker Street and Los Altos Drive.

### 3.4.3 PROJECT ROADWAYS

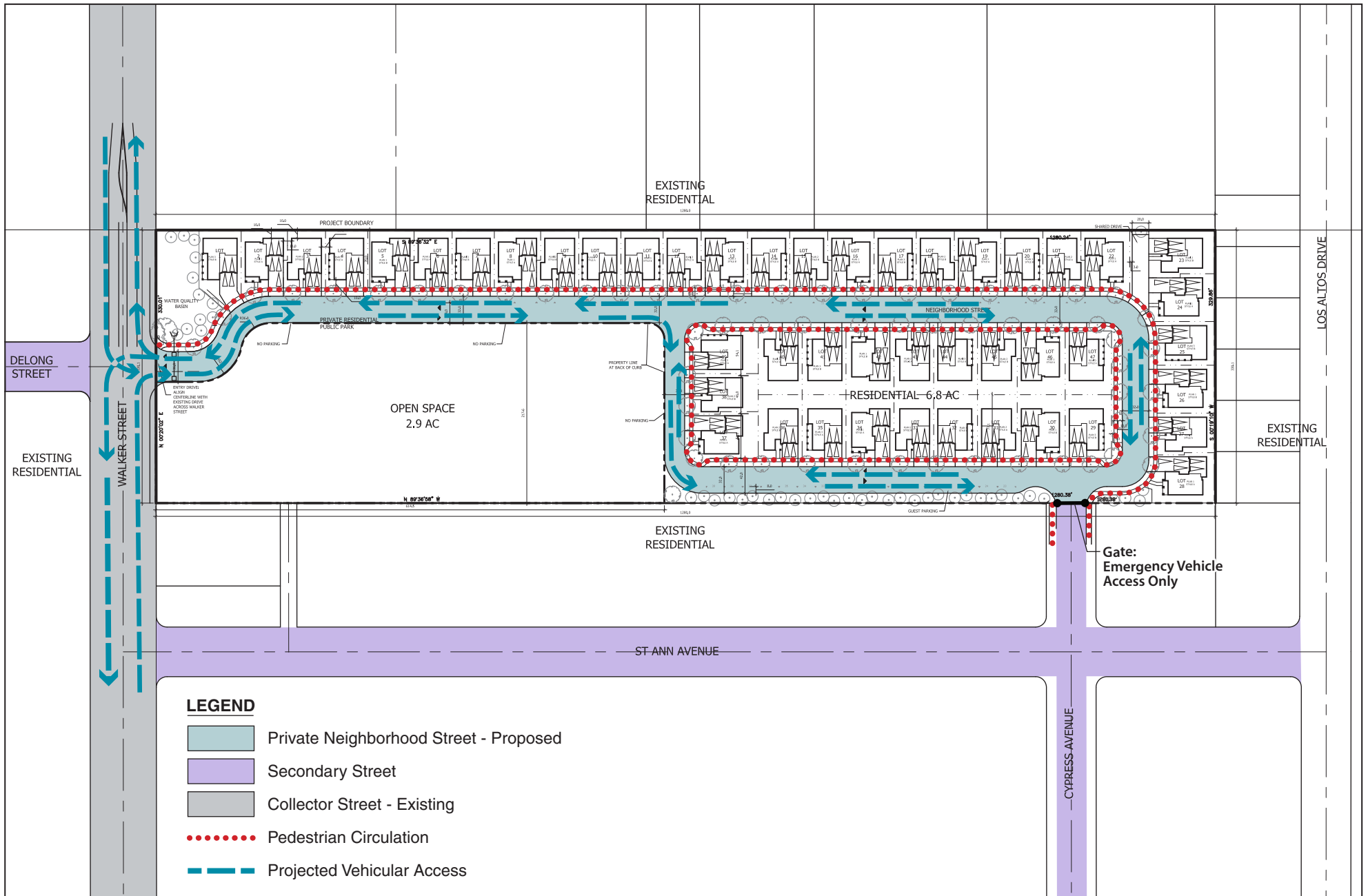
**Access.** Primary vehicular access to the residential neighborhood is provided from Walker Street. This access point will be aligned with the existing Delong Street, opposite the Specific Plan area. This intersection is currently un-signalized, and would be signalized as part of the project. The proposed signalized intersection will provide one inbound lane and two outbound lanes to the Specific Plan area.

#### **Neighborhood Street.**

A private two-lane street will provide internal circulation. The two-lane private street will extend eastward from the Walker Street entry, past the proposed park and



continue as a looped road through the Specific Plan area. Parallel parking spaces are provided for guest parking (see inset below). The street includes a minimum 24-foot drive aisle with an additional eight foot parking lane, providing a total width of 32 feet. The street accommodates the on-street parallel guest parking spaces. The proposed street will be maintained as a private road. A homeowners association will be formed to maintain the private streets.



**LEGEND**

- Private Neighborhood Street - Proposed
- Secondary Street
- Collector Street - Existing
- Pedestrian Circulation
- Projected Vehicular Access

Source: JZMK Partners, 1/20/14.



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MACKAY PLACE SPECIFIC PLAN  
**Conceptual Circulation Plan**



**Emergency Access.** Cypress Avenue currently provides access to an on-site abandoned parking lot. Cypress Avenue will provide a secondary access point to the Mackay Place development that will be restricted to a gated emergency-vehicle-only drive aisle at the southeast corner of the Specific Plan area, connecting to St. Ann Avenue. Cypress Avenue will not be open to public vehicular traffic.

### 3.5 PARKING

A total of 243 parking spaces shall be provided within the Specific Plan area. Each residential dwelling unit will include a private attached two-car garage, plus two or three parking spaces on the driveway, providing a total of four to five parking spaces per dwelling unit. A minimum of one (1) unassigned on-/off-street guest parking space will be provided for each dwelling unit.

A total of 55 guest parking spaces will be provided by a combination of parallel parking spaces along the interior neighborhood street system and the additional parking spaces in each driveway. Table 3-2 indicates the total number of parking spaces required per City standards and the total number of parking stalls proposed in the Specific Plan area.

**TABLE 3-2  
Parking**

Type	Parking Spaces Provided	Required Parking*
Residential	188	188 (4/du)
Guest	40 on-street spaces <u>15 driveway spaces</u> 55 guest spaces	47 (1/du)
<b>TOTAL</b>	<b>243</b>	<b>235</b>
<b>Parking Ratio</b>	<b>5.2 Spaces/DU</b>	<b>5 Spaces/DU</b>

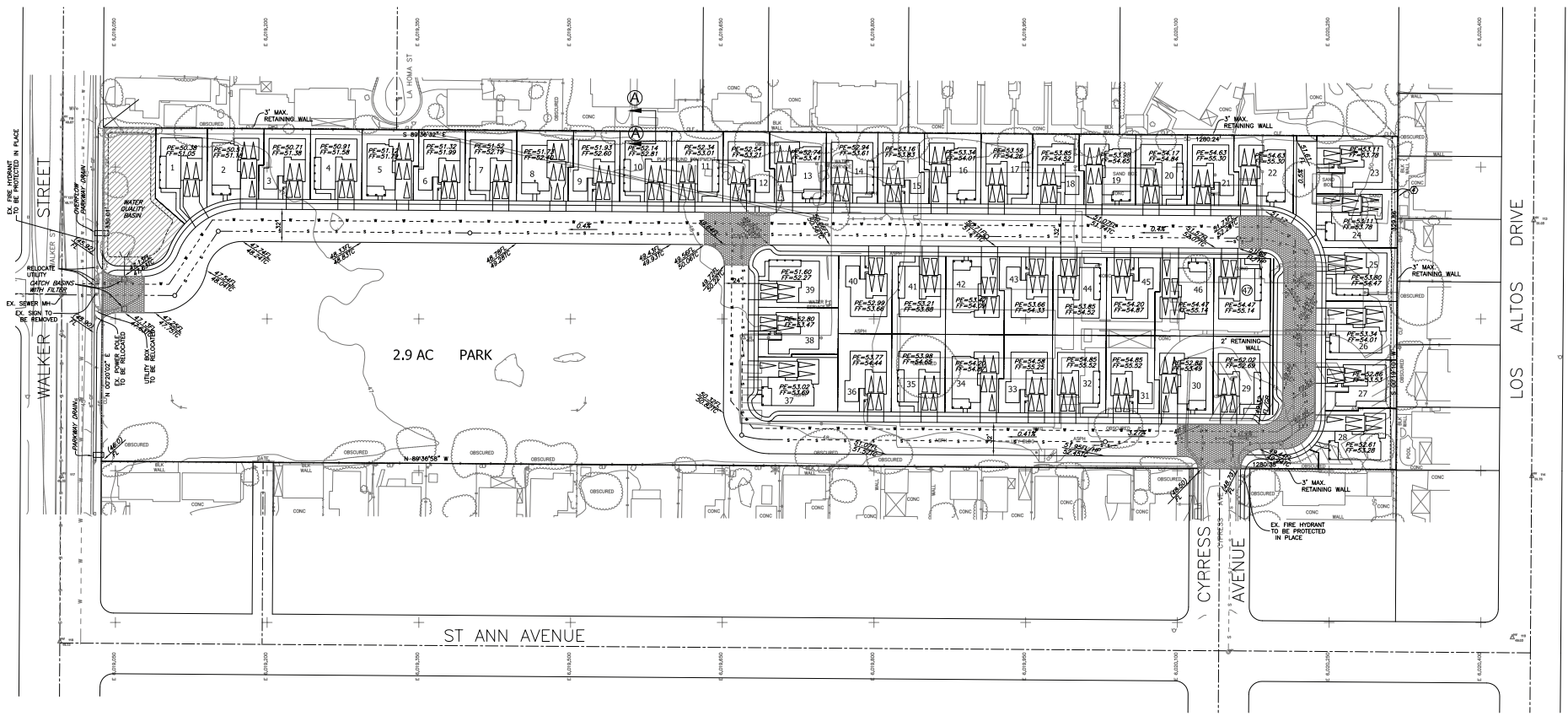
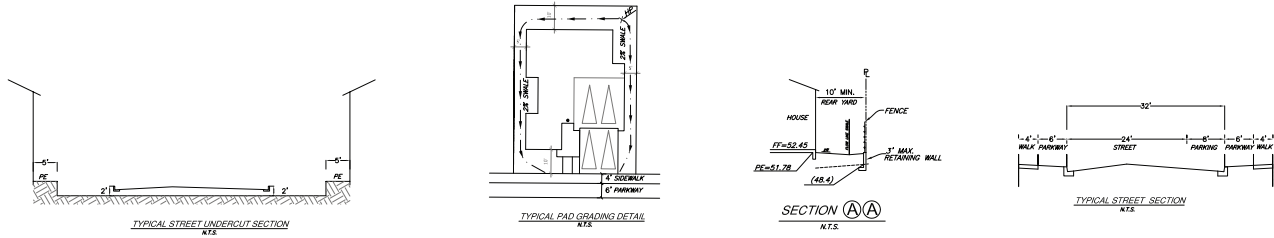
\*Per Table 2-4, Residential Zoning District Parking Requirements, in Cypress Zoning Ordinance Section 2.05.050.  
DU – Dwelling Unit

Parking standards are provided in Section 4, *Land Use and Development Standards*.

### 3.6 INFRASTRUCTURE AND UTILITIES PLAN

#### 3.6.1 GRADING

The existing site is generally flat in nature, with an elevation of approximately 50 feet above mean sea level at the eastern edge and an elevation of 47 feet at the western edge, near the proposed intersection of Walker Street and Delong Street. The grades around the perimeter of the site are consistent with existing grades of roadways. The proposed neighborhood street entrance will match existing roadway grades. Sidewalks along the interior neighborhood street system will generally maintain a two (2) percent cross slope to facilitate and allow for ADA-compliant access to each residential dwelling unit. See Exhibit 6, *Grading Plan*.



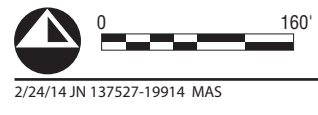
**LEGEND:**

- PROPERTY LINE
- - - EASEMENT LINES
- · - · PROP. WATER
- · - · PROP. SEWER
- - - LOT LINE
- ▨ PERMEABLE PAVERS

**GRADING QUANTITIES:**

- CUT: 1,000 C.Y.
- FILL: 28,100 C.Y.
- 10% SHRINKAGE: 100 C.Y.
- IMPORT: 27,000 C.Y.

Source: B & E Engineers, 12/11/13.



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Due to the flat nature of the site, grading for the new residential development and public park will be minor. A total of 27,000 cubic yards of grading is required, consisting of 1,000 cubic yards of cut and 28,100 cubic yards of fill with a 10% shrinkage factor. Precise grading of the site will be detailed at the site plan level of plan review once final architecture and site work has been designed. The use of post-tension concrete foundation systems for the proposed dwellings is expected to provide an added degree of stiffness over what would typically be provided by a conventionally reinforced foundation. Prior to the issuance of a building permit for any of the proposed structures, a site plan approval will be required, including a precise grading plan based on final architectural design.

### **3.6.2 WATER**

Water is currently provided to the local vicinity by the Golden State Water Company. A six-inch water main exists in Walker Street, parallel to the western boundary of the Specific Plan area. Water will be supplied to the Specific Plan area through a connection to the existing water main in Walker Street. The proposed water line will extend eastward along the neighborhood street and follow the entire length of the proposed street system loop (see Exhibit 7, *Water and Sewer Plan*.)

### **3.6.3 SEWER**

The Specific Plan area is located within the Orange County Sanitation District, which serves as the treatment and transmission agency for sewer service in the City of Cypress. Three drainage areas are delineated on the City's sewer atlas maps and record drawings. Each drainage area terminates at an Orange County Sanitation District facility. The Specific Plan area is within Drainage Area 2, which is located in the central portion of the City. Crescent Avenue and Katella Avenue bound the area to the north and south, respectively. The westerly boundary varies east and west of Denni Street. The easterly boundary varies to the west of Valley View Street. The tributary area covers approximately 2,050 acres of residential, commercial, and industrial land uses.

An eight-inch sewer line exists in Walker Street and Cypress Avenue.

The new residential land use will be served by a gravity system, with a lateral connection to the existing sewer line in Walker Street and a second lateral connection to the existing sewer line in Cypress Avenue. The proposed lateral connections will extend into the project site and follow the length of the proposed central street system loop. A short section of the existing sewer line in Cypress Avenue, extending from the southern property line into the Specific Plan area, along with an existing manhole, will be abandoned (see Exhibit 7, *Water and Sewer Plan*.)



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### 3.6.4 STORM DRAINAGE

Storm drainage and flood control in the City of Cypress is maintained by the Orange County Flood Control District. The majority of the Specific Plan area currently drains from east to west towards Walker Street, with only a small area that drains towards Cypress Avenue. Site drainage will be discharged from the site to Walker Street and Cypress Avenue. The stormwater will be collected in publicly maintained drainage facilities downstream of the site, ultimately connecting to an existing engineered OCFCD channel (Coyote Creek Channel).

The proposed drainage pattern will mimic the existing drainage pattern. Stormwater runoff from the majority of the site will be filtered and treated in a water quality basin located in the northwest corner of the Specific Plan area prior to being discharged from the site to Walker Street (see discussion below). In addition to the water quality basin, permeable pavers will be provided at a central intersection of the neighborhood street and at the easterly section of the street system loop to treat stormwater runoff prior to being discharged to Cypress Avenue (see Exhibit 8, *Drainage System Plan*).

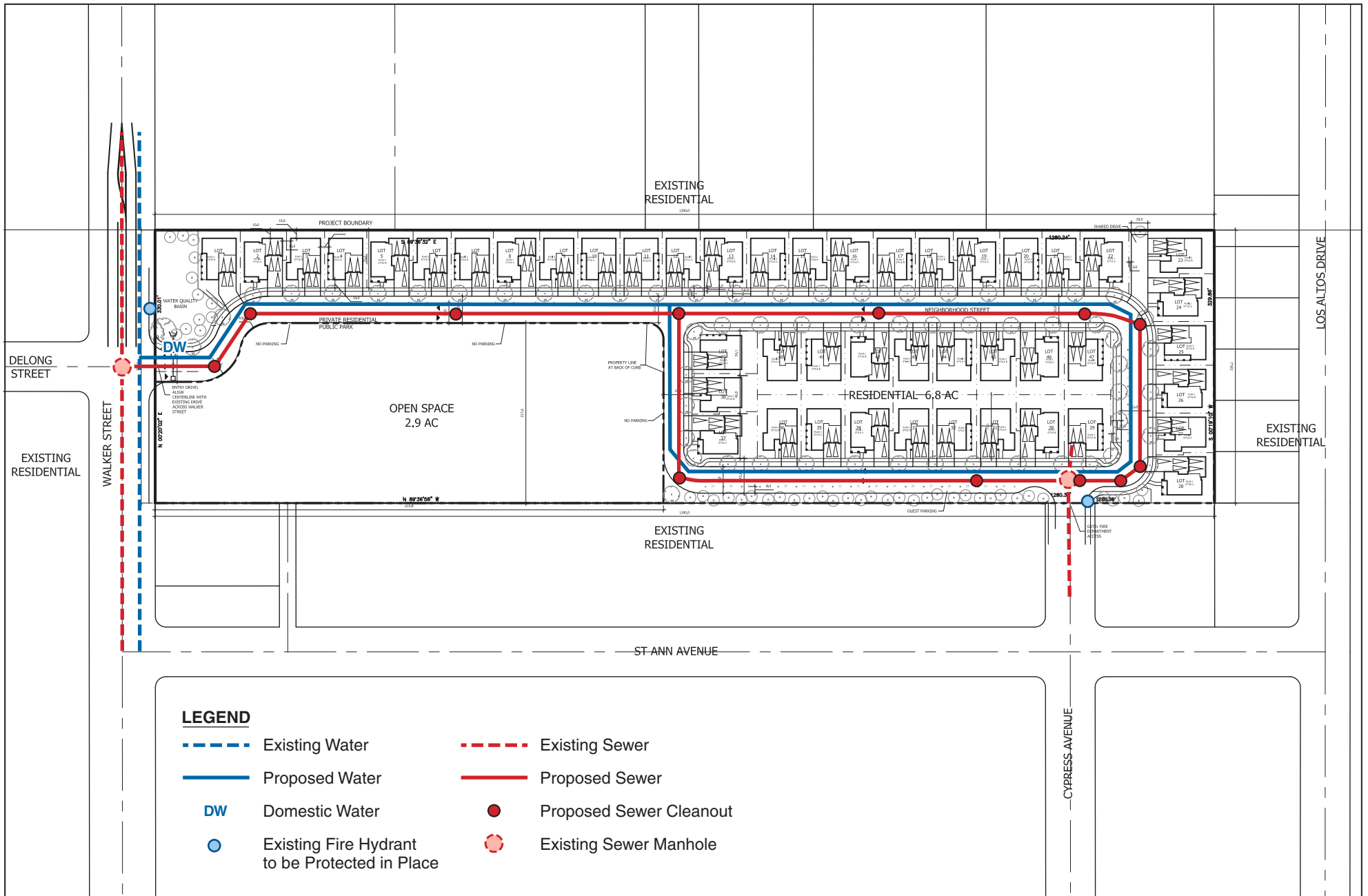
Two parkway drains will be provided along the western boundary of the Specific Plan area. Stormwater runoff from the 2.9-acre public park will sheet flow over the grass before being discharged to Walker Street through one parkway drain located in the southwest corner of the Specific Plan area. A second overflow parkway drain is located north of the proposed intersection at Delong Street (see Exhibit 8, *Drainage System Plan*).

A homeowners association will maintain the on-site drainage facilities.

### 3.6.5 WATER QUALITY

The project is required to comply with the urban runoff pollution control provisions of the Cypress Municipal Code, Article IV, Section 13-23, which regulates the treatment of stormwater runoff from development projects. A preliminary water quality assessment has been prepared for the project, which indicates that all downstream conveyance channels receiving runoff from the project area are engineered channels and thus no hydromodification is required.

Two filtered catch basins will be provided along the north and south curb of the neighborhood street near the project entrance. The filtered catch basins will drain to the water quality basin to be treated before being discharged to Walker Street (see details on Exhibit 5, *Grading Plan*). Other runoff along the western boundary will surface flow through two parkway drains to the existing system in Walker Street. A majority of the site runoff will be filtered and treated by the water quality basin prior to being discharged to Walker Street. Proposed permeable pavers provided in the easterly part of the Specific Plan area will treat the stormwater runoff prior to being discharged to Cypress Avenue.



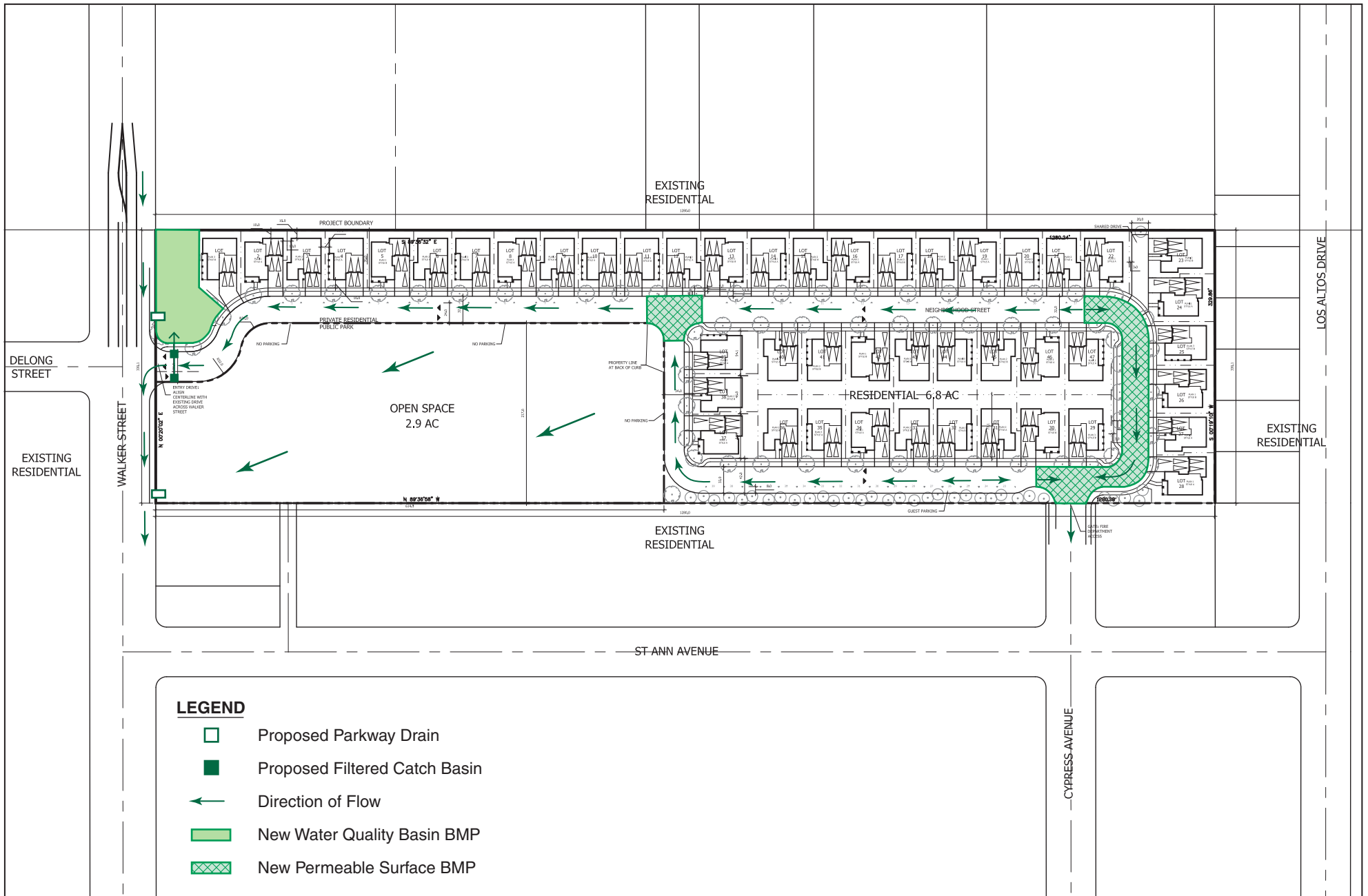
Source: JZMK Partners, 1/20/14.



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MACKAY PLACE SPECIFIC PLAN  
**Water and Sewer Plan**







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The proposed water quality basin will have a large surface area of over 5,200 square feet and a shallow depth of 1.2 feet to accommodate the Low Impact Development (LID) Design Storm Capture Volume and maintain five (5) feet of separation between the bottom of the water quality basin and the ground water elevation. LID Design Storm Capture flow will also be filtered prior to entering the water quality basin. Additional Best Management Practices (BMP's) for the project, which would be refined via a Final Water Quality Management Plan to incorporate project-specific BMP's, will be proposed as part of site plan review. The planned BMP's are comprised of the water quality basin, porous landscaping, infiltration basins, and permeable concrete pavers designed to percolate the entire LID Design Storm Capture Volumes.

### **3.6.6 UTILITIES**

Electrical power for the Specific Plan area will be provided by Southern California Edison through connections to existing lines on surrounding streets. Overhead electrical lines are located along Walker Street and the southern boundary of the Specific Plan area.

Natural Gas service for the Specific Plan area will be provided by the Southern California Gas Company. Existing gas lines located in Walker Street will provide connections to the project.

The proposed residential use will be served by extensions of the existing dry utilities surrounding the project site. The proposed new use can be served by the capacity of the existing system.

### **3.6.7 PUBLIC SERVICES**

**Fire Service:** Fire service for the Specific Plan area is provided by the Orange County Fire Authority (OCFA) and receives fire protection from a minimum of two fire stations: Fire Station #13 and Fire Station #63. Fire Station #13 is located at 7822 Walker Street, in the City of La Palma, and is approximately 0.9 miles north of the project site. Fire Station #63 is located at 9120 Holder Street, in the City of Buena Park, and is approximately 0.99 miles southeast of the project site. A third Fire Station, Station #17 is located at 4991 Cerritos Avenue, approximately 1.87 miles southwest of the project site.

**Police Service:** Police service for the Specific Plan area is provided by the Cypress Police Department. The Police Station is located adjacent to the Cypress Civic Center on Orange Avenue, approximately 1.2 miles southwest of the project site.

**Solid Waste Disposal Service:** Solid waste (trash) disposal service for the Specific Plan area will be provided by Consolidated Disposal Services.



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## **4.0 DEVELOPMENT REGULATIONS**

### **4.1 PURPOSE AND INTENT**

These regulations are intended to function as the development code for the Mackay Place Specific Plan area. Uses and structures in the Plan area shall conform to the development standards, conditions, and restrictions provided in this section.

### **4.2 RELATIONSHIP TO CYPRESS ZONING ORDINANCE**

The development regulations contained in this Specific Plan constitute the primary development regulations for the Mackay Place Specific Plan area. The regulations of this Specific Plan are applied in addition to the provisions of the Cypress Zoning Ordinance. If there is a difference or conflict between the requirements of the Cypress Zoning Ordinance and this Specific Plan, the provisions of this Specific Plan shall take precedence. Any development standards or regulations not specifically stated in this Plan (e.g., size of allowable signs), shall defer to the regulations of the Cypress Zoning Ordinance.

### **4.3 ZONING DESIGNATION**

The zoning designation within the Specific Plan boundaries shall be Planned Community (PC). The allowable uses within the PC zoning designation are as outlined in Section 4.4.2. Certain uses as noted are subject to special conditions regarding the location, operation, or design of the use.

### **4.4 LAND USE AND DEVELOPMENT STANDARDS**

#### **4.4.1 GENERAL PROVISIONS**

1. Upon adoption by Ordinance, this Specific Plan will constitute the zoning for the Specific Plan area. Subsequent development plans or agreements, site plans, or any other action requiring ministerial or discretionary approval relative to the Specific Plan area must be consistent with the development regulations contained within this Chapter.
2. The provisions contained in this Specific Plan shall govern all development within the Mackay Place Specific Plan area. Any land use not specifically covered by the provisions contained herein shall be subject to review and determination by the Director of Community Development or designee.
3. Any ambiguities related to the implementation of the provisions of this Specific Plan shall be resolved by the Director of Community Development or designee. Such interpretations shall take into account the stated goals and intent of this Specific Plan. Any interpretation made by the Director of Community Development or designee may be appealed to the City Council.



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4. If provisions or conditions contained in this Specific Plan differ or conflict with provisions or conditions of the Cypress Zoning Ordinance, the provisions contained in this document shall take precedence.
  5. Setback requirements shall be defined as the distance perpendicular from the existing property line to the closest part of a structure (excluding building overhangs).
  6. Building height shall be defined as the vertical distance from finished grade to the uppermost part of the structure excluding chimneys and vents.
  7. All grading and construction shall comply with the provisions as stated in the Building Standards Code and other applicable chapters of the Cypress Municipal Code. The commencement of construction shall not occur prior to the determination by the Director of Community Development, or designee, that all applicable regulations, standards and conditions of the Mackay Place Specific Plan have been satisfied.
  8. The terms and definitions used in this section shall have the same definitions as provided in Cypress Zoning Ordinance Section 31, unless defined otherwise.
  9. Severability. In the event that any regulation, condition, program, portion, or policy of this Specific Plan or the application thereof to any person or circumstance is held to be invalid or unconstitutional by any court of competent jurisdiction, such portions shall be deemed separate, distinct and independent provisions and shall not affect the validity of the remaining provisions of this Specific Plan or applications thereof which can be implemented without the invalid provision.

#### **4.4.2 PERMITTED LAND USES**

Uses permitted within the Specific Plan area shall be in compliance with those listed in Table 4-1. If a use is proposed that is not specifically listed in Table 4-1, a determination as to whether or not it should be allowed, conditionally allowed, or prohibited shall be made in compliance with the provisions of the Cypress Zoning Ordinance.



**TABLE 4-1  
Permitted Land Uses**

Use or Activity	SP Zoning District
<b>P Permitted Use</b>	
<b>C Conditional Use – Conditional Use Permit required (See Subsection 4.19.070)</b>	
<b>S Site Review Committee</b>	
<b>TUP Tentative Use Permit</b>	
<b>X Not a Permitted Use</b>	
<b>Permitted Uses</b>	
Single-Family Residential (maximum gross density of 7.0 dwelling units per acre [du/ac])	C
Animal Keeping (not more than 3 dogs or cats or combination thereof over the age of 6 months per unit)	P
Kennel	X
Home Occupations (subject to the provisions of the Cypress Zoning Ordinance, Section 3.17.110)	P
Model Home or Subdivision Sales Office	TUP
Satellite Dishes/Antenna (less than 3 feet/1 meter in diameter)	P
Wireless Communications Facilities	S
Accessory Uses and Structures	S
Parks (public or private)	P

### **4.4.3 SITE DEVELOPMENT STANDARDS**

The development standards in Table 4-2 shall provide the primary development criteria within the Specific Plan area.



**TABLE 4-2  
Development Standards**

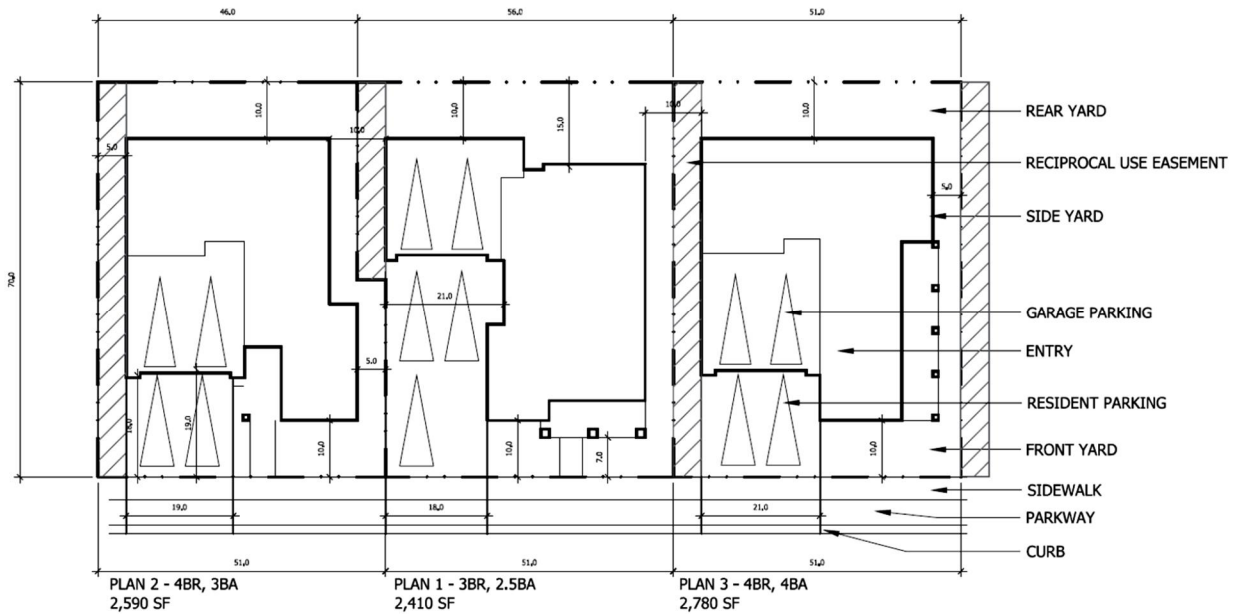
Topic	Standard
1. Minimum parcel size	3,395 square feet
2. Minimum parcel depth	70 feet
3. Minimum parcel width	46 feet
4. Maximum Allowable Density	7.0 dwelling units/acre
5. Setback Requirements <sup>1</sup>	
Front	
Single-Story (from back of sidewalk to exterior wall)	10 feet 7 feet to patio/porch
Second-Story (from back of sidewalk to exterior wall)	10 feet
Side (Interior, Each)	
Single-Story	5 feet
Second-Story	5 feet
Street Side	
Single-Story	15 feet (from street)
Second-Story	15 feet (from street)
Rear	10 feet
6. Vehicular Access/Garage Door/Carport	19 feet from back of sidewalk
7. Maximum Lot Coverage by Structures <sup>2</sup>	50%
8. Maximum Structure Height <sup>3</sup>	30 feet/2 Stories
9. Maximum Second Story Floor Area	Shall not exceed 95% of first story gross floor area, including garage area
10. Min. Dwelling Unit Size	1,200 square feet
11. Min. Distance Between Structures on Same Parcel, Where Neither Structure Exceeds 15 ft. in Height	10 feet
12. Min. Distance Between Structures on Same Parcel, Where One or More Structure Exceeds 15 ft. in Height.	10 feet
13. Min. Separation Between Opposing Second-Story Bedroom Windows	5 feet
14. Min. Driveway Widths	18 feet for two-car garages
15. Min. Landscaped Open Area Private Open Space	600 square feet/unit (min. dimension of 10 feet)
16. Min. Interior Garage Dimension	20 feet x 20 feet Clear
1. Building setbacks shall be measured from the property line to closest structure unless otherwise indicated. 2. Lot coverage shall be inclusive of all permanent structures except for projections and encroachments allowed within setback areas in compliance with Cypress Zoning Ordinance Chapter 2.08.040. 3. The following structures may exceed the allowed height: Plumbing vents, chimneys, etc., skylights, solar panels, architectural theme elements.	



#### 4.4.4 RECIPROCAL USE EASEMENTS

The use of reciprocal use easements is allowed within the Specific Plan area to maximize the usable yard area for individual units. The easements shall be defined at the time of site plan approval, shown on the building permit, and recorded prior to occupancy.

The graphic below illustrates the use of reciprocal easements within the Mackay Place Specific Plan.



#### *Reciprocal Use Easement Typical*

#### 4.4.5 SITE ACCESS

1. Vehicular access to the Specific Plan area will consist of a single point located along Walker Street, across from the existing Delong Street (which currently terminates at Walker Street to form a T-intersection). This proposed access point will complete the fourth leg of the new, signalized, intersection.
2. A gated access point at Cypress Avenue in the southeast corner of the Specific Plan Area will provide emergency-vehicle-access only.
3. The neighborhood street system shall be a minimum of 32 feet in width to accommodate on-street guest parking spaces.
4. A six-inch-high raised concrete curb shall be provided for all streets and on-street parking areas.
5. A minimum fifteen-foot line of sight shall be provided at the project entryway and at all street corners.



6. Pedestrian access is provided at the proposed intersection of Walker Street and Delong Street.

#### **4.4.6 PARKING**

1. Residential parking standards within the Mackay Place Specific Plan area shall comply with Sections 2.05.050, 3.14.050 and 3.14.080 of the Cypress Zoning Ordinance.
2. Up to 243 parking spaces shall be provided within the Specific Plan area. Each residential dwelling unit shall provide an attached private two-car garage and open space on the driveway to park two to three additional vehicles, for a total parking ratio of four (4) or five (5) parking spaces per unit. Unassigned guest parking shall be provided in the driveways of the Plan 1 units and by parallel parking spaces along the neighborhood street system with a minimum ratio of one (1) parking space per dwelling unit.

<b>Use</b>	<b>Parking Requirement</b>
Residential Units	2 garage spaces per unit 2 open spaces which may be provided in a driveway
Guest Parking	1 open space per dwelling unit Spaces may be provided on-street

3. Occupants of residential properties shall not utilize guest parking stalls located on the neighborhood street system for personal use.
4. Long-term parking within guest parking spaces is prohibited.
5. Guest parking spaces shall be kept clear for their intended purpose.

#### **4.4.7 LANDSCAPE**

1. All unpaved areas on the development site shall be planted with an effective combination of trees, shrubs, ground cover, turf, or other decorative landscape materials specifically approved by the Community Development Department. All front yard and set back areas that are visible from the public right-of-way shall be landscaped by the developer prior to occupancy.
2. Prior to the issuance of building permits, a landscape plan shall be submitted to and approved by the City, indicating the size and species of trees, shrubs, groundcover, and other plant materials to be installed within the Specific Plan area.
  - a. Drought-tolerant landscaping materials shall be emphasized to the greatest degree possible without compromising the quality of the overall design.





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3. The maximum allowable turf area shall not exceed fifty (50) percent of the total landscaped area within the project area.
    - a. Areas utilized for recreational purposes (e.g., the public park) may be permitted to exceed fifty (50) percent of the total landscaped area.
  4. Corner parcels shall be landscaped in a manner that ensures a fifteen (15) foot line-of-sight visibility across the corners of the intersecting streets and private driveways.
  5. Permanent, automatic irrigation systems shall be provided in all landscaped areas.
    - a. Landscape irrigation systems shall be designed to prevent run-off and overspray to the greatest degree possible.
    - b. Water conserving irrigation techniques, such as drip irrigation, shall be utilized where feasible.
    - c. Landscaping shall comply with the City's Water Efficient Landscape Requirements stated in Cypress Municipal Code Chapter 29.
  6. Landscape areas shall be maintained in a healthy and thriving condition, free from weeds, trash, and debris.
  7. The design and landscape details of the water quality basin will be provided as part of the site plan review.

#### **4.4.8 SCREENING/BUFFERING**

Any and all screening and buffering installed within the Specific Plan area shall conform to the requirements provided in Cypress Zoning Ordinance Section 3.11.100.

#### **4.4.9 FENCES, HEDGES, AND WALLS**

1. Where landscape is required, the screening shall consist of evergreen shrubs (minimum 5 gallons) and/or trees (minimum 24 inch box) closely spaced to encourage growth of a continuous screen.
2. A decorative masonry screen wall at a height determined by the Director of Community Development and measured from the highest adjacent grade shall be erected and maintained along the northern, southern, and eastern boundaries of the Specific Plan area. Landscape screening shall be incorporated into the design of the wall. An open screening fence at a height determined by the Director of Community Development shall be erected and maintained along Walker Street.



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3. A minimum fifteen-foot line of sight shall be provided at all intersections and corner locations.
  4. Walls and other non-structural features shall be designed to blend with the architectural character within the Specific Plan area through the use of similar materials and colors.
  5. Landscaping shall be used in combination with walls to soften blank surfaces.
  6. Walls and other screening methods shall be compatible with the overall architectural character of the Specific Plan area. The final design shall be subject to the approval of the Community Development Department.

#### **4.4.10 SERVICE FACILITIES**

1. Utility equipment (e.g., electric and gas meters, electrical panels, and junction boxes) shall be enclosed within cabinets or screened from view using architecturally compatible walls and landscaping.
2. All utility lines extending from the service drop shall be located underground.
3. Mechanical equipment shall not be located on the roof of any structure.
4. Trash enclosures and/or solid waste receptacles shall be located away from residential uses and shall not create a nuisance for residents or adjacent properties.
  - a. All trash enclosures shall be kept and maintained in clean, neat, orderly, and operable condition out of view from interior streets, except on trash collection days.

#### **4.4.11 LIGHTING**

1. All exterior lighting fixtures shall be of consistent, high quality and shall compliment the overall architectural design of the Specific Plan area. Light standards and fixtures shall be of consistent, high-quality design that compliments the architectural character of the Specific Plan area.
2. Exterior lighting standards and fixtures shall be shielded so that illumination is fully confined within the Specific Plan area boundaries.
3. Light standards and fixtures shall not exceed 25 feet in height. Exterior mounted security lighting fixtures shall not project above the fascia or roof line of any residential building or accessory structure.



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#### **4.4.12 SIGNS**

Signage within the Specific Plan area shall conform to the Cypress Signage Ordinance, Cypress Municipal Code Chapter 23 or an adopted sign program approved by the Director of Community Development.

#### **4.4.13 COLORS, MATERIALS, AND ARCHITECTURAL FEATURES**

1. Development within the Mackay Place Specific Plan area shall utilize roof and façade articulation techniques that will create visual interest and shadows to promote a high level of aesthetic quality for the plan area.
2. Development within the Mackay Place Specific Plan area shall maintain an individual identity while complimenting the aesthetic quality of the surrounding area and community as a whole.
3. A variety of color schemes and building materials shall be provided for similar elevations to establish variation and visual interest.
  - a. Color schemes shall be consistent and/or compatible with existing architectural features on adjacent sites.
  - b. Exterior plaster, brick, tile, and stone shall be the required materials for architectural features, paving, and wall accents.
  - c. Roofing treatments shall consist of tile in a variety of colors and materials to provide variation and interest. Bright or trendy colors are prohibited.

#### **4.4.14 ACCESSORY STRUCTURES**

Accessory structures shall comply with the regulations and standards as set forth in Section 3.17.020 of the Cypress Zoning Ordinance.



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## **5.0 IMPLEMENTATION AND ADMINISTRATION**

This section provides guidance for the implementation of the policies, standards, and guidelines outlined by this document. The project will be implemented through a City review and approval process to ensure conformity with the regulations and standards of this Specific Plan.

### **5.1 GENERAL PLAN AMENDMENT**

Prior to the adoption of this Specific Plan, the following amendment to the General Plan will be required in order to maintain consistency with the Specific Plan land use plan:

- Amendment to designate 6.8 acres of the 9.7-acre parcel as Specific Plan.
- The remaining 2.9 acres of the 9.7-acre parcel will be retained as Community Facilities and Services, but will be changed from Educational Facilities to Public Parks.

### **5.2 ZONE CHANGE**

Prior to the adoption of this Specific Plan, the existing zoning designation of PS-1A (Public and Semi Public) will be amended to indicate a new designation of PC (Planned Community) for the 6.8-acre parcel. The 2.9-acre public park parcel will retain the PS-1A designation.

All land use regulations, development standards, and other provisions of this Specific Plan shall apply as indicated. For development criteria and regulations that are not amended by this Specific Plan, the provisions of the Cypress Municipal Code shall apply.

### **5.3 SPECIFIC PLAN ADMINISTRATION AND ENFORCEMENT**

#### **5.3.1 RELATIONSHIP TO CYPRESS ZONING ORDINANCE**

The provisions contained in this Specific Plan constitute the primary land use and development standards for the project area. These regulations are applied in addition to the provisions of the Cypress Zoning Ordinance and Municipal Code. If there is a difference or conflict between the requirements of the Cypress Zoning Ordinance and this Specific Plan, the provisions of this Specific Plan shall prevail.

#### **5.3.2 AMENDMENTS TO THE SPECIFIC PLAN**

This Specific Plan may be amended utilizing the procedure by which it was originally adopted. When amendments are required, all sections or portions of the Specific Plan to be changed or that may be affected by the change shall be included in the amendment. A concurrent amendment to the General Plan would not be required unless the Director of Community Development or City Council



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determine that substantive changes would influence the goals, objectives, policies, or programs of the General Plan.

Minor modifications to the Specific Plan shall not require a Specific Plan Amendment, and shall be subject to a “substantial conformance” determination, an administrative mechanism by which minor modifications to the Specific Plan which do not result in significant impacts and are consistent with the intent of the Plan, shall be permitted without a formal amendment process. The City Cypress Director of Community Development shall make determinations of substantial conformance. Minor modifications that meet the above “substantial conformance” determination may include, but are not limited to, modifications necessary to comply with final Conditions of Approval or modifications affecting infrastructure, public services and facilities, landscape, and other issues except those affecting project development regulations.

Development proposals that do not meet the above Specific Plan consistency requirements, or that are not found to be in substantial conformance with the Specific Plan, shall require a Specific Plan Amendment. The applicant may request amendments to the Specific Plan at any time pursuant to Section 65453(a) of the Government Code and Section 4.20.090 of the Cypress Zoning Ordinance.

An amendment to the Specific Plan will require review and approval by the City of Cypress City Council using the same procedures under which it was adopted as specified in Section 4.20.080 of the Cypress Zoning Ordinance. Such amendments require an application and fee to be submitted to the City Planning Department, stating in detail the reasons for the proposed amendment. The Specific Plan may be amended as often as deemed necessary by the Council, in compliance with state law.

In the event the proposed amendment requires supplemental environmental analysis pursuant to the California Environmental Quality Act (CEQA), the applicant(s) will be responsible for associated fees for the preparation of necessary CEQA documentation.

### **5.3.3 ADMINISTRATION AND ENFORCEMENT**

**Administration.** The City of Cypress Community Development Department will administer the Mackay Place Specific Plan in accordance with provisions of the Specific Plan and the Cypress Municipal Code.

**Adoption.** The Specific Plan Development Standards will be adopted by ordinance, becoming the zoning code for the Specific Plan area, replacing the relevant provisions of the Cypress Zoning Ordinance. In the Specific Plan Development Regulations (Section 4.0), development standards for the area are outlined. Uses not addressed in the development standards of the Specific Plan shall conform to the applicable City standards from the zoning district which most closely fits the assigned use of the area.



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**Interpretation.** The development standards and regulations contained in this Specific Plan shall replace and supplement the standards contained in the Cypress Municipal Code, except where specifically provided in the Specific Plan. Whenever the provisions contained in the Specific Plan conflict with the Cypress Municipal Code, the provisions of this Specific Plan shall prevail. Any ambiguity concerning the content or application of the Mackay Place Specific Plan shall be resolved by the City Manager, or designee. Such interpretations shall take into account the stated goals and intent of the Specific Plan.

**Revisions.** Certain changes to provisions in this Specific Plan may be made administratively by the Director of Community Development, subject to appeal to the City Council. These changes include the following:

1. The addition of information to the Specific Plan exhibits or text which does not change the meaning or intent.
2. Changes to infrastructure plans (e.g., drainage, water, and sewer systems) which do not have the effect of increasing or decreasing development capacity in the Specific Plan area.
3. Minor variations in the landscape requirements which do not change the intended character of the project, subsequent to approval through the Design Review process.

Minor variations to the development standards may be made during the design review/site plan review process.

**Enforcement.** The City shall enforce the provisions of this Specific Plan in the same manner that the City enforces the provisions of the Cypress Municipal Code.

### **5.3.4 PERMITS AND APPROVALS**

Approvals necessary for implementation of the Specific Plan include permits and approvals issued by the City of Cypress. It shall be the responsibility of the developer to obtain the appropriate permits and approvals from utility companies and agencies. The following will implement the Specific Plan:

1. Approval of an environmental document in compliance with the California Environmental Quality Act.
2. City Council approval of the Specific Plan (with associated Conditions of Approval, Resolutions, and Ordinances).
3. Subdivision maps and grading permits to implement the development concept.



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4. Site plan and conditional use permit approvals to implement the Specific Plan development concept.
  5. Public works approval and/or permits for construction of infrastructure.
  6. Building and grading permits.

## **5.4 DESIGN REVIEW/SITE PLAN REVIEW**

The Mackay Place Specific Plan will be implemented through the City's design review process, pursuant to the requirements stated in Cypress Zoning Ordinance Section 5.23.050. A site plan, architectural elevations, and landscape plan shall be required for all development within the Specific Plan area.

All proposed projects shall be required to have an approved site plan prior to issuance of building permits or concurrent with subdivision, conditional use permit, architectural design review or any other municipal permit for the property. For the Mackay Place project, site plan review will occur concurrently with the review of the Conditional Use Permit. The site plan review procedure is necessary to:

1. Ensure consistency with the intent of the Specific Plan;
2. Assure substantial long range compliance with the General Plan;
3. Promote the highest innovative standards of site design;
4. Adapt to special development conditions that occur while continuing to implement the Specific Plan;
5. Facilitate complete documentation of land use entitlements authorized and conditions pertinent thereto;
6. Promote a sense of identity within the Specific Plan area that is consistent through the project.

**Procedures.** All required plans, drawings, illustrations, designs, tract maps, reports, and other detailed information shall be submitted to the City Staff for review and comment.

Upon determination that the project plans and tract map comply with the provisions of the Specific Plan by the Staff Review Committee, the Planning Staff shall prepare a staff report with recommendations which shall be submitted along with the required plans to the City Council. The City Council shall approve, deny, or conditionally approve the Site Plan.

**Environmental Determination.** An Environmental Impact Report (EIR) will be prepared in conjunction with this Specific Plan and will be applicable to future



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development of the Project. Subsequent detailed project approvals will be reviewed for compliance with the California Environmental Quality Act (CEQA).

Upon submittal by the applicant or any successor-in-interest to the subject property of a development application, City Staff shall review the application and determine if the proposed development conforms to the development assumptions made in the project description and utilized throughout the analysis in the Environmental Impact Report. Should the City determine that the proposed development does not conform to the development assumptions in the Environmental Impact Report (EIR), even though the proposed development is consistent with the Specific Plan, the application shall not be approved until additional environmental impacts, if any, are identified, analyzed, and the appropriate level of environmental review is completed.

**Minor Development Standards Adjustments.** The purpose of the Minor Specific Plan Development Standard Adjustment procedure is to provide a simplified means of considering minor deviations from certain development standards which are not detrimental to the public health, safety, or welfare. Any person, firm, corporation, or other entity may apply in writing to the Director of Community Development for a minor development standard adjustment to the provisions contained in this Specific Plan. Applications for minor adjustments shall be limited to the following:

1. A reduction in lot, yard, or building area requirements by not more than 10 percent.
2. Increase the total building floor area maximum by not more than 10 percent.

The decision of the Director of Community Development may be appealed to the City Council in accordance with Section 5.27.040 of the Cypress Zoning Ordinance.

**Requirements for Conditional Use Permit or Design Review.** A Conditional Use Permit or Design Review submittal shall consist of plans, drawings, illustrations, designs, and any other detailed information as required to determine compliance with the provisions of this Specific Plan. The following list of plans and information is required:

1. All applicable Tentative Tract Maps or Tentative Parcel Maps.
2. A physical description of the site, including boundaries, easements, existing topography, natural features, existing buildings, structures and utilities.
3. Location, grades, widths, and types of improvements proposed for all streets and roadways.
4. A site plan depicting the location of all structures, landscape and hardscape areas, parking areas, walks, internal circulation, access, adjacent streets, sign type and placement, and fence/wall type and placement. Additionally, elevations (for all sides), a materials board and one set of colored elevations shall be required as part of site plan review.





5. A site plan, drawn to scale, showing the proposed location of structures and other improvements including, where appropriate, driveways, pedestrian walks, off-street parking areas, landscaped areas, fences, and walls. The site plan shall indicate the locations of off-street parking areas, including entrances and exits, and the direction of traffic flow into and out of off-street parking areas.
6. A landscape plan, drawn to scale, showing the locations of existing trees proposed to be removed and proposed to be retained on the site; the location and design of landscaped areas and the varieties and sizes of plant materials to be planted therein; and other landscape features, including sprinkler and irrigation systems.
7. Architectural drawings or sketches, drawn to scale, including floor plans in sufficient detail to permit computation of yard requirements and showing all elevations of the proposed structures as they will appear upon completion. All exterior surfacing materials and colors shall be specified.
8. Tabulations of square footage, area devoted to parking, number of required and provided parking spaces, landscape coverage, building coverage and building or other structure heights.
9. Such applications and environmental assessment forms as are required by the City Staff.

**Mandatory Findings for Approval of Conditional Use Permit or Design Review.**

The Staff Review Committee shall make the following written findings before recommending approval or conditional approval of any Conditional Use Permit or Design Review and Tract Map.

1. The proposed project is compatible with the intent and purpose of the Specific Plan regulations and guidelines and the City's General Plan.
2. Implementation of the proposed development plan will not have an adverse impact on the public health, safety, interest, convenience or the general welfare.

**Severability.** If any portion of the Mackay Place Specific Plan is for any reason held invalid by a court of competent jurisdiction, such portion shall be deemed a separate, distinct, and independent provision and the invalidity of such provision shall not affect the validity of the remaining portions.

**Mitigation Monitoring.** The Mackay Place Specific Plan will be prepared in conjunction with an Environmental Impact Report (EIR). The EIR will identify potential impacts resulting from the proposed development and develop mitigation measures to reduce environmental impacts.

As Lead Agency, the City of Cypress will implement a monitoring program for the approved mitigation measures. To assist in this monitoring effort, a Mitigation Monitoring Program will be developed by the City as part of environmental findings and attached to the Final Specific Plan upon approval.



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## 5.5 FINANCING

Improvements identified within this Specific Plan are private in nature and will be financed by the project applicant and/or developer. No public financing is assumed.



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## 6.0 APPENDIX

### 6.1 GENERAL PLAN CONSISTENCY

California State law requires a specific plan to be consistent with the general plan of the adopting locality. To ensure consistency with the City of Cypress General Plan, the existing General Plan (2001, Housing Element 2013) was reviewed relative to this Plan. Following are the applicable General Plan goals and discussion regarding implementation of the Mackay Place Specific Plan.

#### **Land Use Element**

Goal. Create a well-balanced land use pattern that accommodates existing and future needs for housing, commercial, and industrial land, while providing adequate recreation and community services to City residents.

Implementation. The land uses proposed by the Mackay Place Specific Plan aid in creating a balanced land use pattern by providing for additional housing units and adequate recreation in the City.

Goal. Ensure that new development is compatible with surrounding land uses, the circulation network, availability of public facilities, and existing development constraints.

Implementation. The land uses allowed by the Specific Plan are single-family residential units similar in form to the adjacent single-family residential units to the north and east. At the same time, the density of the proposed residential units makes the placement adjacent to the multi-family residential uses appropriate. The circulation network formed by the proposed intersection at Walker Street and Delong Street will provide sufficient capacity to support the vehicular trips resulting from the project. The existing infrastructure is also sufficient to support the project area land uses.

Goal. Improve urban design in Cypress to ensure development that is both architecturally and functionally compatible and to create uniquely identifiable neighborhoods, commercial and business park districts.

Implementation. The architectural design of the project will be complementary to surrounding uses. The new streetscape design and enhanced project entry will create an aesthetically pleasing frontage along Walker Street.

Goal. Ensure that public facilities and services are available to accommodate development permitted under the General Plan and Zoning Ordinance.

Implementation. Although the Specific Plan will require an amendment of the Land Use Policy Map of the General Plan, the City's water, sewer, and storm drainage systems are adequate to serve the project area. Prior to the Tentative Tract Map approval, engineering studies will be required to determine capacities and develop an infrastructure system for the new residential development. The project area will be



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served by the Orange County Fire Authority, Cypress Police Department, Cypress Recreation and Parks District, Orange County Transportation Authority, facilities such as the Cypress Library, the Cypress School District, Southern California Edison, Southern California Gas Company, Orange County Sanitation District, and the Golden State Water Company.

### **Circulation Element**

Goal. Maintain a safe, efficient, economical, and aesthetically pleasing transportation system providing for the movement of people, goods, and services to serve the existing and future needs of the City of Cypress.

Implementation. Walker Street has sufficient capacity to serve the Specific Plan land uses. The proposed signalized intersection at Walker Street and Delong Street will provide safe vehicular and pedestrian access to the Specific Plan area.

### **Conservation/Open Space/Recreation Element**

Goal. Conserve ground water and imported water resources.

Implementation. The landscape standards for the Specific Plan area mandate the use of drought-tolerant plant materials and reduced turf use to conserve water resources. Further, as required by State law, water conserving toilets and faucets will be incorporated into the project.

Goal. Preserve the few remaining native plant and animal species, as well as non-native plants, utilized in landscaping throughout the City.

Implementation. New street trees and interior project landscaping will contribute significantly to the overall aesthetic quality of the project and provide additional landscaping in the community.

Goal. Reduce solid waste produced in the City.

Implementation. The project area will comply with City policies, ordinances, and requirements relating to the reduction of solid waste.

Goal. Provide recreation/park facilities and programs for all those who live and work in Cypress.

Implementation. The Specific Plan area includes a new 2.9-acre public park that will be accessible to all those who live and work in Cypress.

### **Safety Element**

Goal. Protect life and property in Cypress from seismic events and resulting hazards.



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Implementation. While no active or potentially active faults are located in the City, the entire region is considered to be seismically active. The General Plan's environmental documentation identifies geologic hazards including landslides, erosion, and liquefaction within the City and establishes measures to mitigate such conditions. The City implements UBC's seismic safety standards regarding the construction of structures.

Goal. Minimize risks to life and property associated with the handling, transporting, treating, generating, and storage of hazardous materials.

Implementation. The City has adopted the State-approved Orange County Hazardous Waste Management Plan, which addresses community issues related to hazardous materials. In addition, the City has developed a disaster plan in the event of natural or man-made disasters; the plan includes evacuation routes throughout the City. Evacuation routes include Ball Road to the south and Valley View Street to the east of the Plan area.

Goal. Protect life and property in Cypress from urban fires. Maintain the fire department's high level of service to community businesses and residents.

Implementation. The Orange County Fire Authority (OCFA) provides fire protection and emergency medical care to the project area. The closest station is located less than one mile north of the Specific Plan area, at 7822 Walker Street.

Goal. Maintain the police department's high quality service to the City.

Implementation. Police services to the Plan area are provided by the Cypress Police Department, which is located at 5275 Orange Avenue.

Goal. Protect Cypress residents from air operation accidents.

Implementation. The Mackay Place Specific Plan is not located within the Los Alamitos Armed Forces Reserve Center (now referred to as the Joint Forces Training Center) planning area established by the Airport Land Use Commission for Orange County.

## **Noise Element**

Goal. Reduce noise impacts from transportation noise sources.

Implementation. Based upon maps provided in the City's General Plan, noise from the adjacent roadway (Walker Street) is in the 60 to 65 CNEL range. These levels are in the normally acceptable range for business, commercial, and professional uses as defined by the U.S. Department of Housing and Urban Development and outlined in the City's General Plan Noise/Land Use Compatibility Matrix. Construction design elements will ensure that residential uses are not subjected to noise levels in excess of that permitted by the Cypress Zoning Ordinance.



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Goal. Incorporate noise considerations into land use planning decisions.

Implementation. Noise in the vicinity of the Specific Plan area comes from traffic. These noise levels have been identified in the General Plan as being in the 60 to 65 CNEL range.

Goal. Develop measures to control non-transportation noise impacts.

Implementation. Mackay Place Specific Plan land uses and construction activity are subject to the requirements of the City's existing noise ordinance.

## **Air Quality Element**

The following two goals are similar in scope and are thus addressed together.

Goal. Reduce air pollution through proper land use and transportation planning.

Goal. Improve air quality by reducing the amount of vehicular emissions in Cypress.

Implementation. A sidewalk system for the use of pedestrians is provided on the propose neighborhood street system. The area is located near existing transit stops.

Goal. Reduce particulate emissions to the greatest extent feasible.

Implementation. The majority of the particulate emissions produced within the Plan area will occur during project construction. Particulate emissions from construction will be minimized through compliance with the rules and regulations of the South Coast Air Quality Management District (SCAQMD) regarding construction-related emissions.

Goal. Reduce emissions through reduced energy consumption.

Implementation. Energy conservation practices must be incorporated into the design of projects within the Specific Plan area as required by the Subdivision Map Act, Building Energy Efficiency Standards (California Energy Commission, 1988), and state and local laws (i.e., Title 24).

## **Growth Management Element**

Goal. Reduce traffic congestion.

Implementation. Walker Street has sufficient current capacity to accommodate the traffic anticipated from the project, approximately 454 trips per day. The projected trips calculated for the land uses permitted under the Specific Plan are expected to allow all of the studied intersections to continue operating at a Level of Service 'C' or better.



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Goal. Ensure adequate transportation facilities are provided for existing and future inhabitants of the City.

Implementation. The Specific Plan area is located near existing transit stops on adjacent arterials.

## **Housing Element**

Goal. Encourage the provision of a wide range of housing by location, type of unit, and price to meet the existing and future needs of Cypress residents. Establish a balanced approach to meeting housing needs of both renter and owner occupied households.

Implementation. The Specific Plan provides for detached single-family homes, ranging in size from 2,400 to 2,800 square feet. The project will provide quality housing on an abandoned school site.

Goal. To provide adequate housing sites through appropriate land use, zoning, and specific plan designations to accommodate the City's share of regional housing needs.

Implementation. The Mackay Place Specific Plan provides a residential in-fill opportunity that will increase the number of housing units in the City and requires the site to be designated as a specific plan land use.

## **6.2 PROPERTY LEGAL DESCRIPTION**

Assessor's Parcel Number: 262-461-05

The south one-half of the south one-half of the northwest quarter of the southeast quarter of section 9, township 4 south, range 11 west, San Bernardino base and meridian, in the City of Cypress, County of Orange, State of California, according to the official plat thereof. Except the west 40 feet thereof, conveyed to the County of Orange by deed recorded February 24, 1976 in Book 11654, Page 1235 of the official records.