

**WARLAND/CYPRESS BUSINESS CENTER
SPECIFIC PLAN**

NOVEMBER 13, 1984

pbr

TABLE OF CONTENTS

<u>Title</u>	<u>Page Number</u>
SECTION I: Introduction	3
A. Purpose and Intent	3
B. Specific Plan Objectives	3
C. Project Setting	5
1. Location	5
2. Existing Land Uses	9
3. Surrounding Land Uses	9
4. Summary of Site Conditions	10
a. Earth Resources	10
b. Drainage/Flood Control	10
c. Water/Sewer Service	11
SECTION II: Project Description	15
A. Development Concept	15
SECTION III: Land Use and Development Regulations	20
A. Business Park Uses and Standards	20
1. Purpose and Intent	20
2. Permitted Uses	23
3. Site Development Standards	25

B. Retail Commercial Uses and Standards	29
1. Purpose and Intent	29
2. Permitted Uses	29
3. Site Development Standards	30
SECTION IV: Circulation Plan	33
A. Internal Vehicular Circulation	33
B. Vehicular Access Points	38
C. Pedestrian and Bicycle Trails	38
D. Public Transportation	39
SECTION V: Utilities and Services Concept Plan	43
A. Drainage Plan	43
B. Water System Concept Plan	45
C. Sewer Concept Plan	47
D. Other Utilities	47
E. General Infrastructure and Service Requirements	48
SECTION VI: Phasing Plan	53

SECTION VII: Design Guidelines	57
A. Introduction	57
B. Landscape Concept Plan	58
1. Streetscapes	58
2. Project Edges	69
3. Project Entries	71
4. Landscape Materials	73
5. Hardscape Design Elements	73
6. Signage	76
C. Architectural Concept	80
1. Building Form	80
2. Exterior Building Materials	81
 SECTION VIII: Specific Plan Implementation	 85
A. Site Plan Review Procedures	85
1. Submittal Procedures	85
2. Site Plan Review Procedures	88
3. Limitations and Revisions	89
B. Subdivision	89
C. Non-conforming Uses, Building and Structures	89
D. Minor Development Standards, Adjustments and Specific Plan Documents	89
1. Minor Development Standards Adjustments	89
2. Amendment Procedures	90

E. Enforcement	90
F. Relationship to the General Plan	91
1. Land Use Element	91
2. Circulation and Scenic Highways Element	91
3. Housing Element	92
4. Open Space, Conservation, Elements	92
5. Noise Element	92
6. Seismic-Safety Element	93
7. Safety Element	93
 SECTION IX: Legal Descriptions	 95

LIST OF EXHIBITS

1. Regional Location	3
2. Site Vicinity	5
3. Surrounding Land Use	7
4. Land Use Master Plan	11
5. Development Map	17
6. Circulation Plan	29
7. Street Cross-Sections	34
8. Storm Drain System	39
9. Water System	43
10. Sewer System	45
11. Phasing Plan	49
12. Landscape Concept	58
13. Cross Section 1	58
14. Cross Section 2	58
15. Cross Section 3	63
16. Cross Section 4	63
17. Cross Section 5	63

18. Cross Section 6	63
19. Cross Section 7	63
20. Cross Section 8	63
21. Cross Section 9	69
22. Cross Section 10	71
23. Hardscape Elements	74

INTRODUCTION

SECTION I: INTRODUCTION

A. Purpose and Intent

This Specific Plan provides the City of Cypress with a comprehensive set of plans, regulations, conditions and programs for guiding the orderly development of the Warland/Cypress Business Center, and implements each applicable Element of the City of Cypress General Plan. It assures development of the project area as a coordinated project involving a mixture of business park, commercial and office uses.

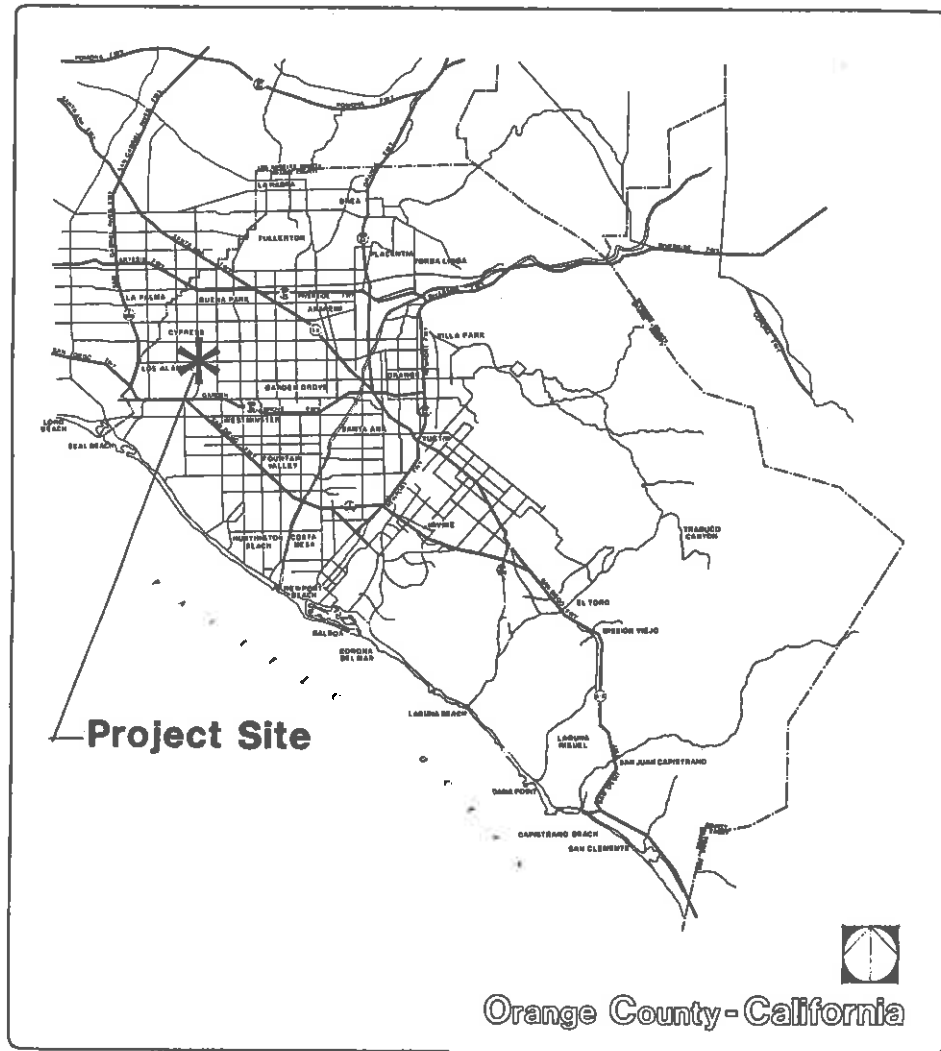
The Warland/Cypress Business Center Specific Plan has been prepared in accordance with the requirements of California Government Code (Sections 65450 through 65507) and addresses all issues and topics specified in that code.

After adoption, a Specific Plan has an effect similar to the local Zoning Code. Tentative and final tract maps must be consistent with applicable Specific Plan provisions. Additionally, and if determined appropriate, a development agreement cannot be approved unless the legislative body finds the agreement is consistent with the General Plan and any applicable Specific Plan.

An important function of this Specific Plan is to reduce the need for detailed planning and environmental review procedures related to subsequent development of the project area. This Specific Plan and the accompanying Environmental Impact Report (EIR) provide the necessary regulations and environmental documentation so that future development proposals consistent with the provisions contained in this Specific Plan may proceed with Site Plans, Tentative Tract Maps and other approvals without a requirement for new environmental documentation.

B. Specific Plan Objectives

The City has identified a number of planning objectives to be implemented in the Warland/Cypress Business Center Specific Plan. These include:



Regional Location
WARLAND/CYPRESS BUSINESS CENTER
CITY OF CYPRESS

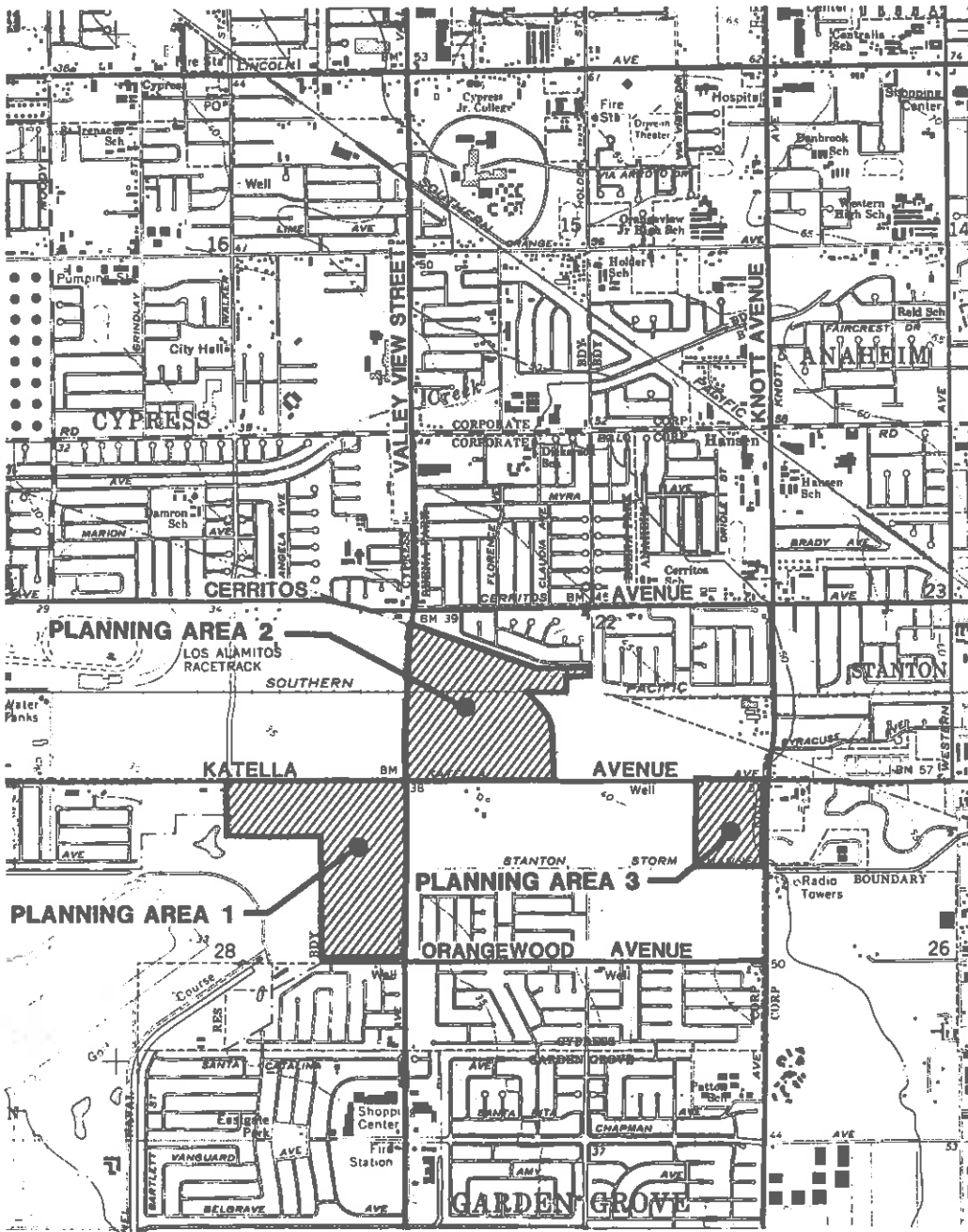


- Implement the City General Plan with respect to improving the physical characteristics of the area.
- Allow for a well designed business park; one which can respond to changing future market conditions.
- Provide for a physical mix of land uses, including commercial, within the project area.
- Establish a development program through which a quality business environment may be realized, to further provide a range of employment opportunities, and to implement a variety of commercial, office and industrial land uses.
- Realize land uses which are compatible with surrounding uses and which take advantage of site characteristics.
- Provide design standards to assure a well designed, aesthetically pleasing environment which will result from future development within the Warland/Cypress Business Center.

C. Project Setting

1. Location

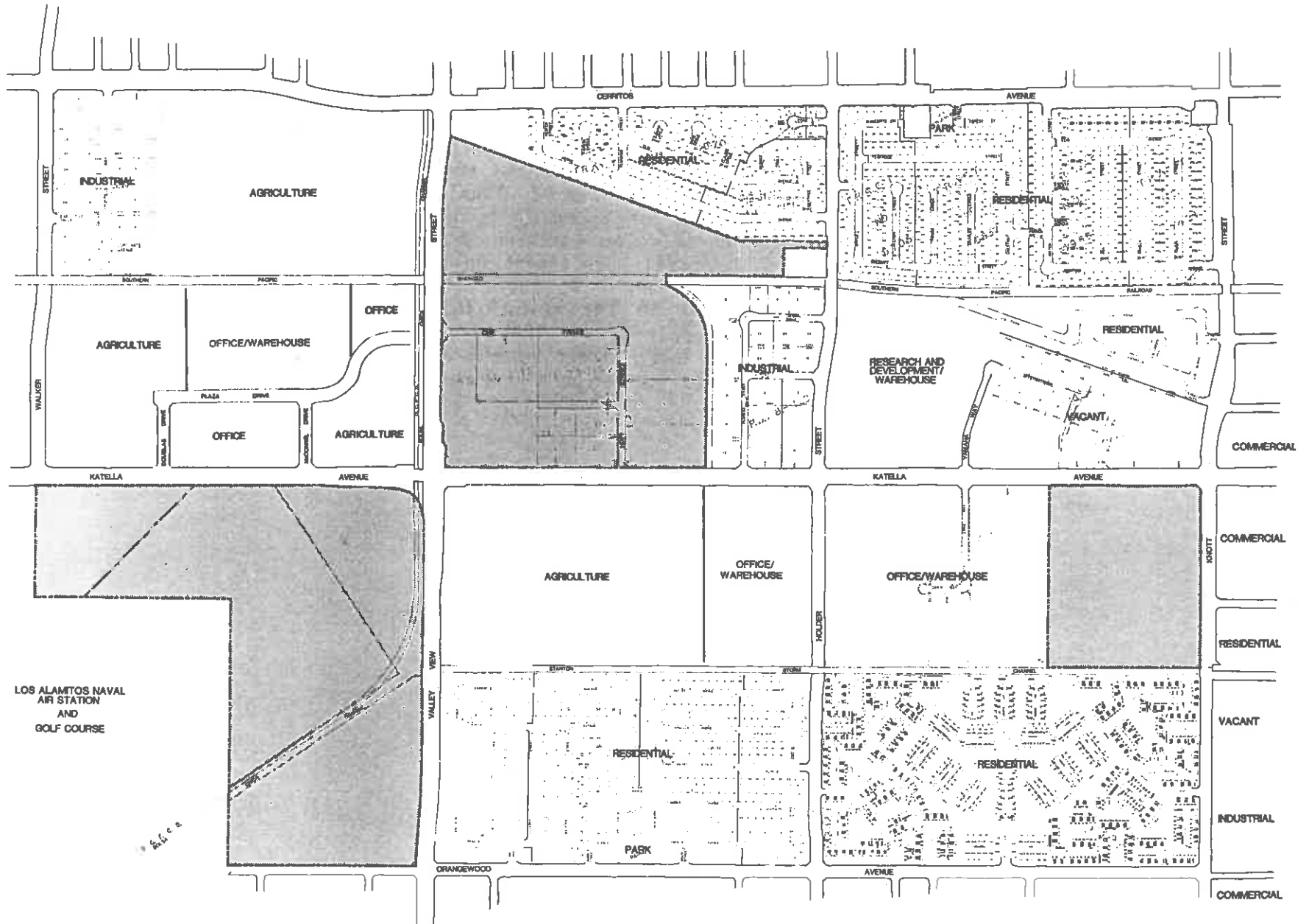
The Warland/Cypress Business Center is located in northeast Orange County (see Exhibit 1). More specifically, the approximately 212-acre project area lies within the southern portion of the City of Cypress and is situated directly north of the City of Garden Grove and east of the City of Los Alamitos. The project area is less than 2.5 miles east of the San Gabriel River Freeway (Interstate 605), and 2.0 miles north of the Garden Grove Freeway (State Route 22) and the San Diego Freeway (Interstate 405).



Site Vicinity
WARLAND/CYPRESS BUSINESS CENTER
City of Cypress



The Warland/Cypress Business Center consists of three development increments (see Exhibit 2). The western development area (Planning Area 1) is bounded by Katella Avenue on the north, Valley View Street on the east, Orangewood Avenue on the south and the Los Alamitos Naval Air Station on the west. A 40-acre portion of Planning Area 1, currently under lease to the U.S. Department of Defense, is used as a portion of the Naval Air Station Golf Course. The northern development area (Planning Area 2) is bounded by residential development on the north, an industrial subdivision currently being developed to the east, Katella Avenue to the south and Valley View Street to the west. This Planning Area is bisected by a Southern Pacific rail line. The eastern development area (Planning Area 3) is bounded by Knott Street on the east, residential development on the south, an industrial center on the west and Katella Avenue on the north.



Surrounding Land Use

WARI AND/CYPRESS BUSINESS CENTER

EXHIBIT 3



2. Existing Land Uses

The following is a description of the current uses for each Planning Area (see Exhibit 3):

- Planning Area 1 - This area includes agricultural fields, the portions of the aforementioned Naval Golf Course and the Bolsa Chica Channel (a bicycle trail is located within the channel easement).
- Planning Area 2 - This area includes agricultural fields, five industrial/office buildings with an additional building under construction comprising a total of 460,809 square feet, a spur track of the Southern Pacific Railroad and the Jonathon Storm Channel.
- Planning Area 3 - This area is used exclusively for agricultural purposes.

3. Surrounding Land Uses

Warland Cypress Business Center is proposed within the greater Cypress Industrial Area, a 542-acre area planned by the City for industrial and commercial development. Areas immediately adjacent to the project site are largely developed or committed for industrial and commercial development (see Exhibit 3).

The Los Alamitos Armed Forces Reserve Center occupies approximately 1,325 acres west of the project area. The interface between the project site and the Reserve Center is dominated by a golf course assigned to leased land. In 1977, the California Army National Guard assumed authority for the air station. The station's primary use is as a reserve training facility for National Guard and Army Reserve helicopter pilots.

There are a number of residential neighborhoods located in the areas surrounding the three Planning Areas. These are mainly detached single-family homes with some attached dwellings on Knott Street and south of Orangewood Avenue

4. Summary of Site Conditions

a. Earth Resources

The Warland/Cypress Business Center is located on generally flat land. Elevations in the project area range from 50 feet above sea level near the intersection of Katella Avenue and Knott Street to a low of 35 feet where the Stanton Storm Channel crosses Valley View Street. There are no outstanding topographic features within the three Planning Areas.

While no known fault traces have been identified within the project area, it is less than five (5) miles from the Newport-Inglewood Fault, a northwest - southeast trending fault. The Specific Plan has a potential for liquefaction, which is a liability for a seismic effect due to the fact that groundwater is found at depths of 7 to 11 feet, combined with the low relative density of the soils in the area. Soils in the project area are classified as alluvial fill material and a considerable portion are Class I agricultural soils.

There are also a number of neighborhood commercial facilities surrounding the planning areas. These include markets, small retail facilities and other convenience stores.

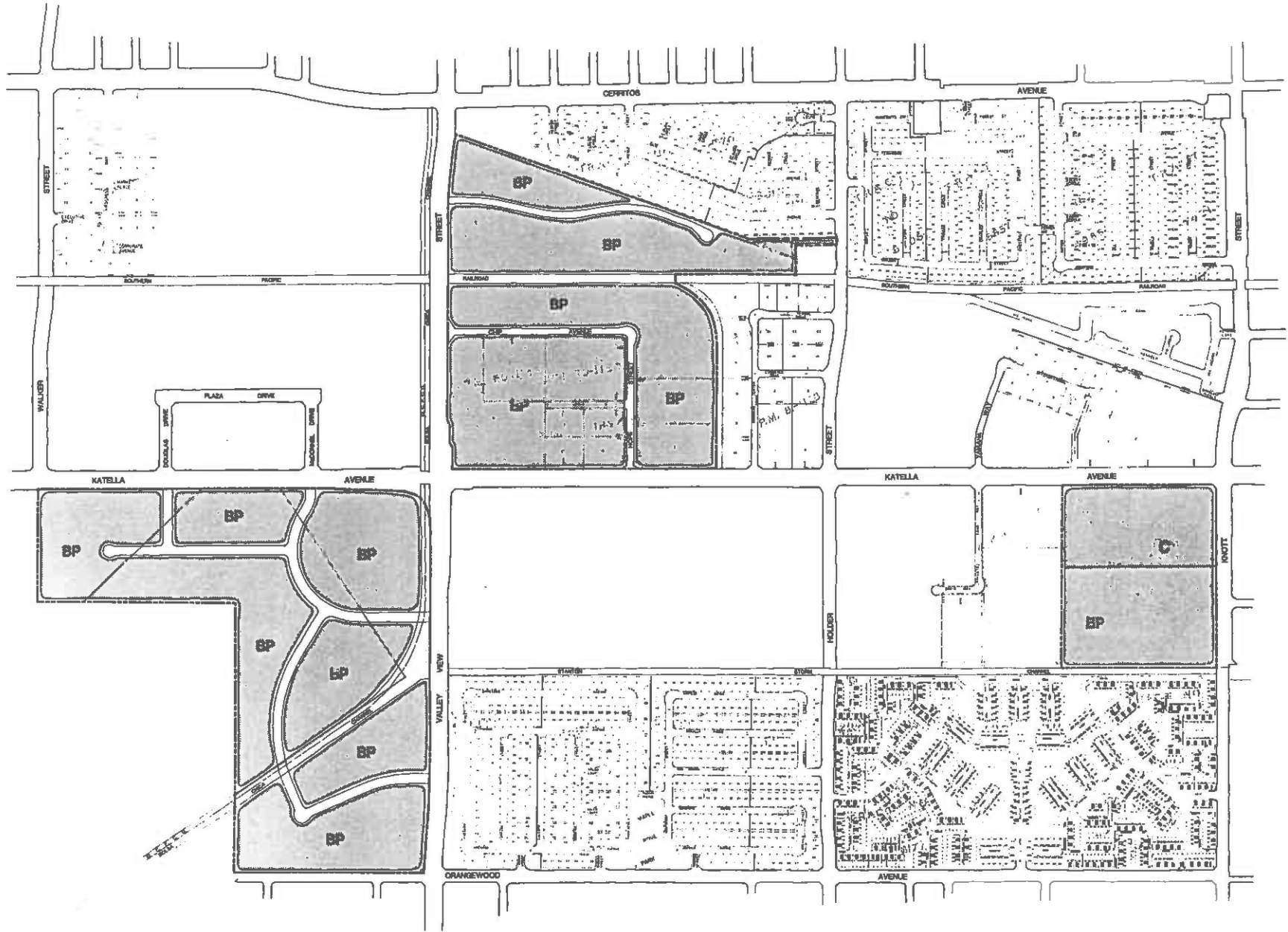
b. Drainage Flood Control

Storm water from Planning Area 1 drains into Bolsa Chica Channel which is a northeast to southeast trending facility, and also drains into the Orangewood Storm Drain and the Walker Storm Drain. Planning Area 2 drains into the Jonathon Storm Drain which runs on an east-west axis across the site draining westerly into the Bolsa Chica Channel. Planning Area 3 drains southerly into the Stanton Storm Drain.

c. Water/Sewer Service

Existing water mains are located in Valley View Street, Katella Avenue, Holder Street and Oranewood Avenue. Sewer service is provided by the City of Cypress. They are responsible for construction, operation and maintenance of facilities. The Orange County Sanitation District (OCSD) also maintains two trunk lines in the project vicinity. Collected wastewater will be transported from the site to either the OCSD Fountain Valley or Huntington Beach treatment plant. Existing facilities are described further in Section V, Utilities and Services Concept Plans.

PROJECT DESCRIPTION



**Land Use Master Plan
 WARI AND/CYPRESS BUSINESS CENTER**

SECTION II: PROJECT DESCRIPTION

A. Development Concept

The Warland/Cypress Business Center is planned as a multi-use business and commercial development, and is viewed as an integral and unique component to the City of Cypress as set forth in the City's General Plan. Implementing the General Plan, this Warland/Cypress Business Center Specific Plan represents a major opportunity for sustained economic growth within the City of Cypress.

The Warland/Cypress Business Center Land Use, Master Plan (see Exhibit 4) has been designed to reflect four basic considerations. Each is described on the following pages:

- Provide for multiple uses;
- Integrate the project and its components within the surrounding areas;
- Take advantage of topographic and other site characteristics; and
- Provide sufficient flexibility for future anticipated market changes.

1. Provide for Multiple Uses

In establishing the parameters for future development it is essential that sufficient flexibility be provided for as wide a range of uses as possible, and still maintain the design intent of a business park. This is accomplished through the use of planning areas which emphasize specific uses, and encouragement/incentives for integration of multiple use options within specific planning areas and in accordance with requirements provided for in this Specific Plan.

Permitted uses within the project area include general office uses, corporate office facilities, research and development facilities, financial offices, light industrial uses when conducted in a fully enclosed facility, and a limited amount of retail commercial uses when conducted in support of the above stated land uses.

An approximately twelve-acre area within Planning Area 3 is designated for retail commercial land uses. Located at the southwest corner of Katella Avenue and Knott Street this area is intended to provide a neighborhood commercial center.

2. Integrate the Project with Surrounding Areas

The viability of the project area is directly related to its ability to be functionally integrated with surrounding areas. Much of the support services and related uses which are necessary to successfully implement the project are or will be found on these areas. For these reasons convenient automotive and pedestrian circulation between uses is provided. Equally important, the mix of different, non-competing and complementary uses within the project area and surrounding areas must be achieved so that a dynamic balance may be realized. Land uses have been located in recognition of the need for compatibility to existing and planned uses which are more sensitive to the impacts related with intensive land uses, and other negative aspects of development. Section VII, Design Guidelines, of this Specific Plan provide detailed measures to be taken to assure compatibility of uses, and protection of sensitive areas.

3. Take Advantage of Topographic and Other Site Characteristics

The project area is essentially level, which permits considerable flexibility in the location of land uses and site design of future developments. The very gently sloping nature of the project area provides ample gradient for technical considerations: drainage, infrastructure, and site improvements.

4. Provide Sufficient Flexibility for Future Anticipated Market Changes

Given what is viewed as a moderately long build-out period, it is essential that the Warland/Cypress Business Center Specific Plan be designed with sufficient flexibility to permit adjustments to future market conditions while still achieving the Specific Plan objectives and design concept.

The Business Park land use category described herein is established with as wide a range and mix of land uses possible, while still retaining the overall project design concept. Further, a mix of land uses including the designation of retail commercial is provided which will permit an increased development absorption potential, and still result in an overall balanced or "positive" fiscal impact to the City general fund.

The development concept for the Designated Specific Plan area is depicted and regulated through a series of plan components identified below and specified in the pages which follow:

- Land Use Plan
- Circulation Plan
- Drainage Concept Plan
- Utilities Concept Plan
- Phasing Concept Plan
- Design Concept Plan

The Land Use and Circulation Plans establish specific standards and requirements to which individual development projects within the project area must conform. Concept plans (drainage, utilities, design, etc.) describe programs for community infrastructure development as well as design, grading and phasing concepts. Concept plans are not mandatory master plans and may be revised by the City without formal amendment of the Specific Plan. They do, however, establish the development parameters which must be met as development occurs within the Warland/Cypress Business Center.

LAND USE AND DEVELOPMENT REGULATIONS

SECTION III: LAND USE AND DEVELOPMENT REGULATIONS

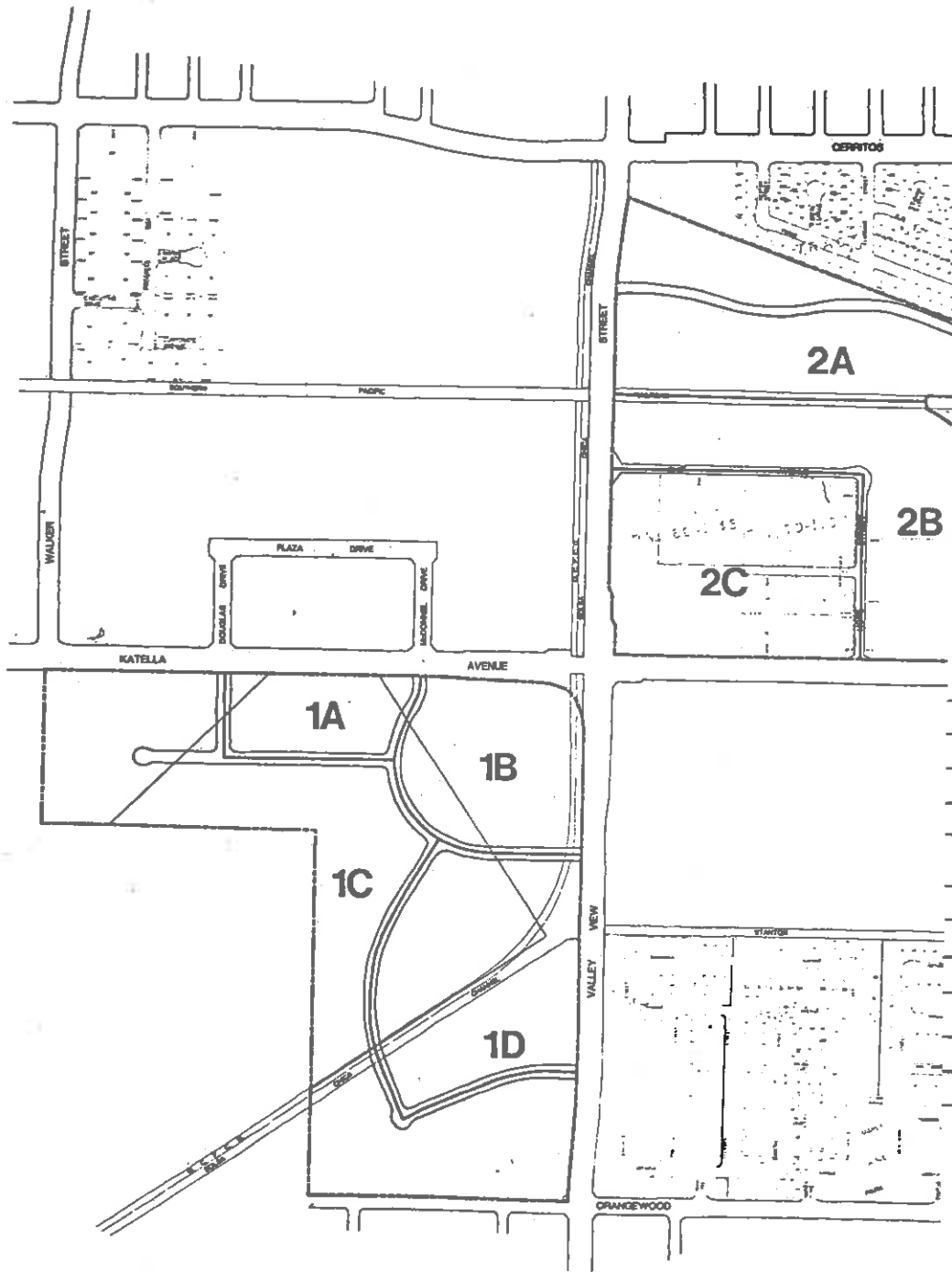
A. Business Park Uses and Standards

1. Purpose and Intent

These regulations act as a principal part of the controlling mechanisms for implementation of the Warland/Cypress Business Center. The standards set forth in this section will ensure that future development within the Business Park classification proceeds in a consistent and aesthetic manner. Future review of site plans by the City of Cypress will provide assurance that these standards are realized.

The land use regulations contained herein are intended to result in a development of a general business-office character which complements surrounding, existing and planned land uses. Regulations provide an appropriate amount of flexibility to anticipate future conditions and to properly integrate a mixture of office and retail/service commercial uses.

Principal land uses for the Business Park classification shall be limited to office, corporate office, light industrial, and limited commercial uses in three project areas. The general locations of these plan areas are shown on Exhibit 5, Land Use Development Map.



RETAIL/ COMMERCIAL (ACRES)	ROADWAYS AND OTHER RIGHT-OF-WAYS (ACRES)	TOTAL ACRES
	1.3	8.7
	2.6	16.2
	4.7	50.2
	5.7	25.4
	14.3	100.5
	3.3	30.4
	2.3	26.0
	1.2	26.0
	6.8	82.4
11.5		11.5
11.5		17.5
11.5	21.1	29.0
11.5		211.9

Development Plan WARLAND/CYPRESS BUSINESS CE

2. Permitted Uses

- a. Principal Uses: The following uses shall be permitted, subject to the approval of a Site Plan, as specified in Section VIII, herein:
- 1) All general, administrative, and professional offices.
 - 2) Banks, savings and loans, and other financial facilities.
 - 3) Medical and dental offices, clinics and related laboratory facilities.
 - 4) General research facilities and laboratories including, but not limited to product testing, development, manufacturing or processing.
 - 5) Corporate offices and related facilities.
 - 6) Light manufacturing plants and facilities, as further defined in Section 11.1 of the Zoning Code.
 - 7) Assembly plants and facilities.
 - 8) Service industries including but not limited to the following:
 - a) Repair, maintenance or servicing of appliance, component parts, etc.
 - b) Testing shops.
 - c) Photofinishing and photographic processing facilities.
 - d) Blueprinting, reproduction and copying services, photo-engraving, printing, publishing and bookbinding.
 - e) Drycleaning and laundry plants.
 - f) Any other similar use which is found compatible with the purpose and objectives of this section, and which is indicated on an approved Site Plan, according to the provisions of Section VIII, herein.
 - 9) Industries engaged in storage and warehousing.
 - 10) Construction industries such as general contractors and specialty contractors, etc., together with their accessory and incidental office uses, and when entirely contained within a structure.
 - 11) Storage facilities, including but not limited to the following, and when conducted entirely within an enclosed structure:
 - a) Boat storage.
 - b) Recreation vehicle storage.
 - c) Mini-warehouse storage facilities.
 - d) New automobile storage.

b. Accessory Uses: The following uses shall be permitted, subject to approval of a Site Plan as specified in Section VIII, herein, and when clearly incidental or necessary to the proper functioning of the above-stated principal uses:

- 1) Retail and service commercial uses within an existing approved shopping center unless a C.U.P. is required.
- 2) Public utilities building, structures, and facilities.
- 3) Other uses which are clearly incidental to the proper functioning of a principal use.

c. Uses Permitted Subject to a Conditional Use Permit

Those special uses, and including but not limited to the following, and as specified in Section 11.1 of the Zoning Code may be permitted subject to approval of a Conditional Use Permit, in accordance with the aforementioned section, provided that any conditional use permit shall be found to be consistent with the goals and objectives of this Specific Plan.

- 1) Hotel, motel
- 2) Restaurants and retail food establishments
- 3) Trade schools
- 4) Shopping centers
- 5) Machine shop or other metal working shops
- 6) Service station
- 7) Wholesale distributing plants
- 8) General retail commercial uses not contained within a shopping center, and when not an accessory use
- 9) Other uses consistent with the intent of Section 1, Purpose and Intent, subject to the approval of a conditional use permit application by the City.

d. Temporary Uses:

The following temporary uses may be permitted subject to review and approval of the Planning Director, upon filing of a temporary use permit application, plot plan, and payment of fees as determined by Resolution of the City Council at least 30 days prior to the event:

- 1) Circuses, carnivals, fairs on vacant property only.
- 2) Outdoor sale of Christmas trees on vacant property only.
- 3) Temporary outdoor exhibits and/or sales of equipment, goods or services, provided there shall be no more than four such displays or sales in a calendar year and that no one display or sale be conducted for a period of more than four consecutive days.

4) Temporary construction facilities.

e. Limitations Upon Uses:

The following limitations shall apply to all uses:

- 1) All uses shall be conducted within a completely enclosed building, except for temporary uses as permitted above.
- 2) No overnight parking of vehicles other than those used in conjunction with a permitted use.
- 3) Storage shall be permitted only within an entirely enclosed structure, and shall be limited to accessory storage of commodities sold or utilized in the conduct of a permitted use on the premises, limited to the rear two-thirds of the property.

3. Property Development Standards

- a. Building site area. Twenty-thousand (20,000) square feet minimum.
- b. Building site dimensions. One-hundred (100) feet along a street frontage; no minimum lot depth.
- c. Building height and size.
 - 1) Building heights shall be subject to the limitations imposed by the Federal Aviation Administration, Part 77 of the Federal Aviation Regulations, which governs flight patterns of the Los Alamitos Armed Forces Reserve Center. Roof-top mechanical equipment shall be set back fifteen feet (15') from all exterior building edge and shall not project above the equipment which it is designed to shield from view.
 - 2) The floor area ratio expressed as a proportion of building Gross Floor Area to Building Site Area shall not exceed 1.0, provided, however, that any floor area devoted to parking within a building shall not be considered in determining the total floor area allowed.
- d. Building setbacks. All setbacks shall be measured from the ultimate right-of-way line and interior property lines.
 - 1) Adjacent to an arterial highway. Along any highway abutting a planning area, buildings shall be setback a minimum of thirty (30) feet from the ultimate right-of-way line, except for Katella Avenue, which shall have a forty-foot (40') setback.
 - 2) Adjacent to a local street. Along any local street buildings shall be setback a minimum of thirty (30) feet from the ultimate right-of-way line.

- 3) Adjacent to a Business Park or Commercial parcel. Along property lines that separate Business Park or commercial uses there shall be a setback of five (5) feet, or which may be reduced to zero (0) feet, subject to Design Review.
 - 4) Adjacent to a residential parcel. Abutting a residential parcel there shall be setback a minimum of forty (40) feet or a distance equal to the height of the building, whichever is greater.
- e. Site coverage. Sixty percent (60%) maximum; with parking structure, seventy percent (70%) maximum.
- f. Off-street parking. Except as otherwise stated herein, all provisions and standards contained within Section 14 the Zoning Code shall apply.
- 1) In computing required parking any fraction over a whole number shall be computed as a whole.
 - 2) No more than forty (40) percent of the required parking spaces in retail commercial areas and no more than thirty (30) percent of the required parking space in business park areas, shall be designed for compact cars subject to all provisions of Section 11 of the Zoning Code.
 - 3) Parking spaces may be located in the following manners:
 - a) On the lot(s) with the building use served.
 - b) On a contiguous lot or lots, provided that access is convenient, subject to review by the Site Plan Review Committee, and as specified in Section 11 of the Zoning Code and providing that a legal instrument is recorded to commit the parcel to off-street parking until the City may release the contiguous lot;
 - c) Within a parking structure (individual or common), and in a conveniently located manner.
- g. Signs. Signs shall be permitted in accordance with Section VII, herein.
- h. Lighting. Parking lots shall be lighted. All lighting, interior and exterior, shall be designed and located to minimize power consumption and to confine direct illumination to the premises.
- i. Loading. All loading shall be performed on the site. Loading platforms and areas shall be screened from view from adjacent streets, highways, and residential. The required number of spaces shall be provided as specified in an approved site plan. The specific requirements for size, location, treatment, and maintenance of loading spaces shall be in conformity with Section 11 of the Zoning Code.

- j. Trash areas. All trash areas shall be shielded from view within a building or area enclosed by a solid wall not less than six (6) feet in height. No such area shall be located within twenty (20) feet of any residential area.
- k. Screening.
- 1) Abutting residential areas. A landscaped berm shall be installed along all site boundaries where the premises abuts residential areas. Except as otherwise provided, the screening shall have a total height of eight (8) feet. Where there is a difference in elevation on opposite sides of the screen, the height shall be measured from the highest elevation.
 - 2) Parking area abutting highways. An opaque screen shall be installed along all parking areas abutting a highway. Except as otherwise provided, the screening shall have a total height of not less than thirty-six (36) inches and not more than forty-two (42) inches. Where there is a difference in elevation on opposite sides of the screen, the total height shall be measured from the highest elevation.
 - 3) Streets and intersections. Berming along all streets and boundaries shall have a height of not less than 36 inches nor more than 42 inches within twenty (20) feet of the point of intersections of:
 - a) A vehicular accessway or driveway and a street.
 - b) A vehicular accessway or driveway and a sidewalk.
 - c) Two or more vehicular accessways, driveways or streets.
 - 4) Notwithstanding the requirements listed above, where the finished elevation of the property at the boundary line, or within five (5) feet inside the boundary, is lower than an abutting property elevation, such change in elevation may be used in lieu of, or in combination with, additional screening to satisfy the screening requirements for this section.
 - 5) A screen as referred to above shall consist of one or any combination of the following types:
 - a) Walls including Retaining Walls: A wall shall consist of concrete, stone, brick, tile or similar type of solid masonry material in a minimum of six (6) inches thick.
 - b) Berms: A berm shall be constructed of earthen material and it shall be landscaped.

- c) Landscaping: Vegetation, consisting of evergreen or deciduous trees or shrubs.
 - 6) Mechanical equipment. Mechanical equipment placed on any roof such as, but not limited to, air conditioning, heating, ventilating ducts and exhaust shall be screened in a material consistent with the building or screened from view from any abutting street or highway and any abutting residential area. All such mechanical equipment shall be maintained in a clean and proper condition to prevent a collection of litter and filth and to avoid the emission of unnecessary noise, dust or fumes.
1. Landscaping. Landscaping, consisting of evergreen or deciduous trees, shrubs, ground cover or hardscape, shall be installed and maintained subject to the following standards:
- 1) Boundary landscaping abutting arterial highways is required to a minimum depth of twenty (20) feet.
 - 2) Boundary landscaping along public streets, other than arterial highways, is required to a minimum depth of fifteen (15) feet.
 - 3) Boundary landscaping abutting residential parcels shall be landscaped as to create a visual buffer between said areas. Landscape plans submitted with Site Plans shall indicate the species, plant size, location, and number of trees to be planted which will meet this requirement, and shall be consistent with the provisions contained in Section VII, Design Guidelines, herein.
 - 4) Side and rear setback areas. All unpaved, non-work areas not utilized for parking or storage shall be landscaped.
 - 5) An additional amount of landscaping, equal to at least five (5) percent of the gross building site area, is required and a minimum of fifty (50) percent of such landscaping shall be located in parking areas.
 - 6) Separation. Any landscaped area shall be separated from an adjacent vehicular area by a wall or curb at least six (6) inches higher than the adjacent vehicular area or in some manner be protected from vehicular damage.
 - 7) Watering. Permanent automatic watering facilities shall be provided for all landscaped areas.
 - 8) Maintenance. All landscaping shall be maintained in a neat, clean and healthy condition. This shall include proper pruning, mowing of lawns, weeding, removal of litter, fertilizing, replacement of plants when necessary, and the regular watering of all plantings.

- m. Environmental pollution control. Any permitted use shall be performed or carried out entirely within a building that is designed and constructed so that the enclosed operations and uses do not cause or produce a nuisance to adjacent sites, such as but not limited to the following: radio frequency interference, sound, vibration, electro-mechanical disturbance, electromagnetic disturbance, radiation, air pollution, dust, emission of toxic or nontoxic odors, or toxic or nontoxic matter. Further, any permitted use shall meet the performance standards specified in Section 11.3 of the Zoning Code.

B. Retail Commercial Uses and Standards

1. Purpose and Intent

These regulations provide for implementation of the commercial classification as a neighborhood-level commercial shopping center. Designed as an integrated center, intended uses are anticipated to include retail outlets, service commercial uses and restaurant and dining facilities.

2. Permitted Uses

Those uses specified below and in Section 10.1 of the Zoning Code (CG-10000 classification) shall apply.

- a. Architectural, engineering, research and testing firms and laboratories
- b. Financial institutions
- c. General office uses
- d. General retail commercial uses contained within a shopping center
- e. Professional office uses

Those standards regulating signage, as contained in Section 10.4 of the Zoning Code, shall apply to retail commercial uses within Planning Area 3A, and shall supersede any other standards regarding signage which are contained within this Specific Plan.

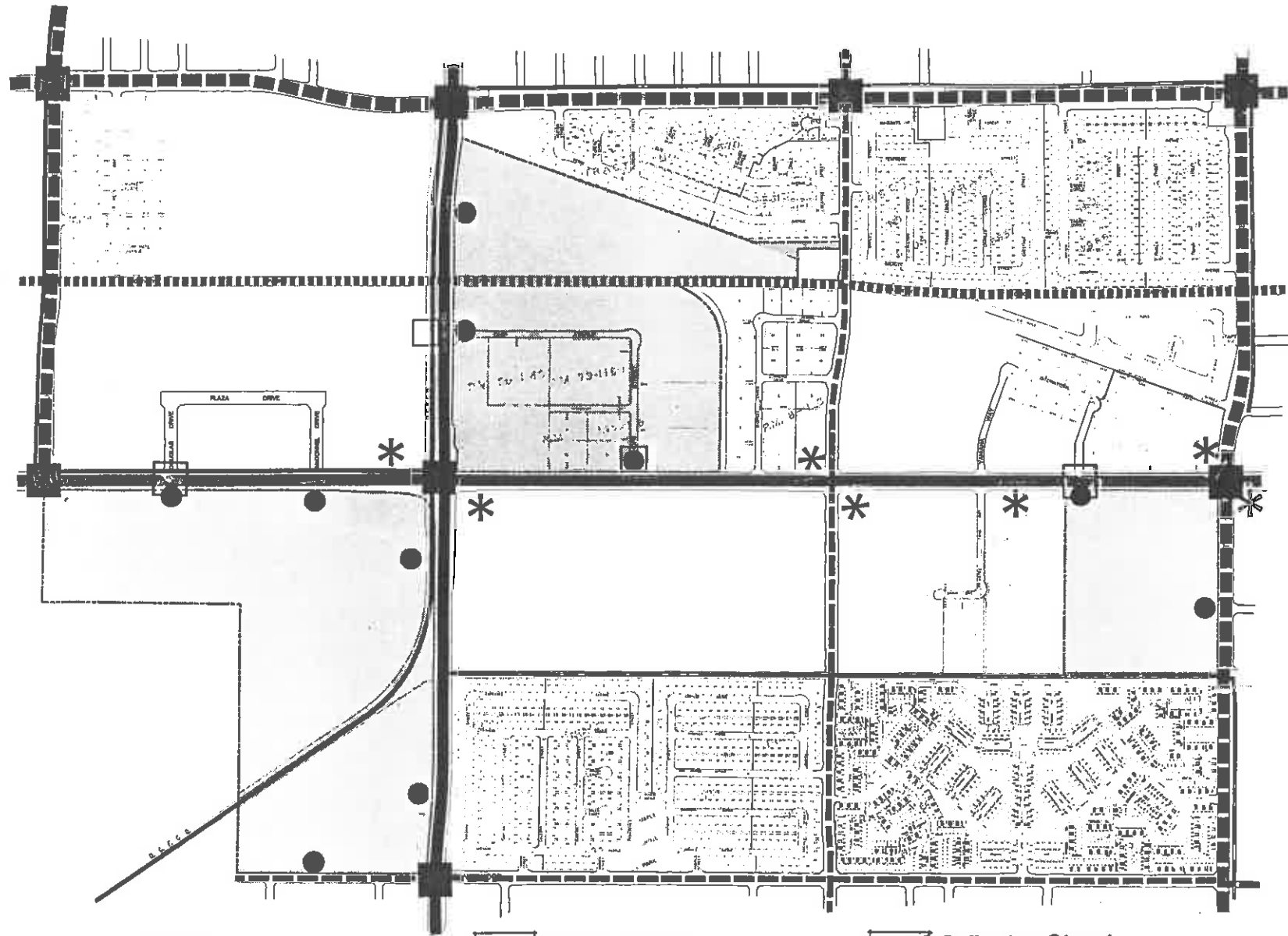
3. Site Development Standards

Those standards specified in Sections 10.2 and 10.3 of the Zoning Code (CG-10000 classification) shall apply, in addition to the following:





- a. Katella Avenue setback: Fifteen (15) feet minimum , fully landscaped.

- b. Knott Street setback: Twelve (12) feet minimum, fully landscaped

CIRCULATION



 Existing Signal
 Proposed Signal

 Major Arterial
 Primary Arterial
 Secondary Arterial
 Primary Project Entry

 Collector Street
 Southern Pacific Railroad
 Bike Trail
 Existing Bus Stop

Circulation WARLAND/CYPRESS BUSINESS CENTER

EXHIBIT 6



SECTION IV: CIRCULATION PLAN

The Circulation Master Plan provides the transportation system and basic standards for safe, efficient vehicular movement within and through the project area. This plan consists of alignments for arterial and local streets roadways and respective rights-of-way, as well as the treatment of controlled access points into specific areas within the project area.

The circulation plan for the Warland/Cypress Business Center reflects four considerations:

- The existing circulation network and planned improvements within and around the project area, including the future extension of Holder Avenue with an 84-foot right-of-way south of the Stanton Storm Channel (including future crossing);
- Future traffic volumes from anticipated project area and area-wide growth;
- Traffic generation characteristics anticipated for each planning area; and
- The City's goals, objectives and policies pertaining to circulation, as delineated in the General Plan Circulation Element.

A. Internal Vehicular Circulation

The circulation system for the project area relies primarily on the major thoroughfares which currently exist in the area; these include: Katella Avenue, Valley View Street, Walker Street, Knott Street, Holder Street, Cerritos Avenue, and Orangewood Avenue.

The Circulation Master Plan is depicted in Exhibit 6, and typical roadway sections are illustrated in Exhibit 7. Each of the major thoroughfares which are part of the Specific Plan circulation system are described in the below paragraphs.

1. Valley View Street

This is a six-lane major arterial highway which runs in a north-south direction. The roadway is improved presently with a raised median, six through lanes, dual left-turn lanes at Katella Avenue (north-south bound), and a one-hundred and twenty (120) foot right-of-way. Intersections with Katella Avenue and Orangewood Avenue in the vicinity of the project area are signalized. Improvements to Valley View Street in this Specific Plan shall be limited primarily to involve streetscape improvements along project boundaries.

2. Katella Avenue

This east-west major arterial highway, which has a one-hundred and twenty (120) foot right-of-way is improved with six through lanes and dual left-turn lanes in each direction at the intersections of Valley View Street. Intersections at Valley View Street, Holder Avenue and Knott Avenue are signalized. Future signals are proposed at Douglas Drive and International Avenue. Other roadway improvements include a raised median and a number of bus stops as described in the Public Transit section, herein.

3. Knott Avenue

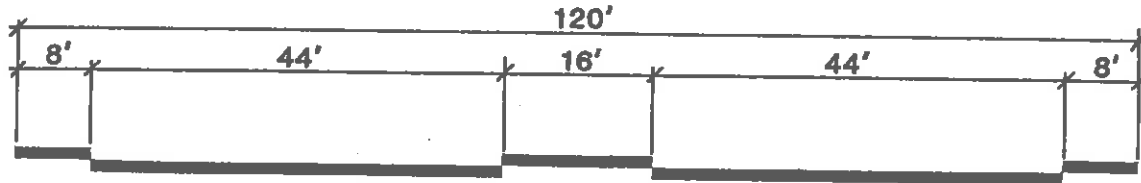
A four-lane primary arterial, Knott Avenue runs in a north-south direction. It has a one-hundred (100-foot) right-of-way and signalized single left-turns at the intersection of Katella Avenue. Those portions of Knott Avenue adjacent to the project area are fully improved.

4. Walker Street

Walker Street is a fully improved four-lane primary arterial highway south of Katella Avenue, and has five-six lanes in the area north of Katella Avenue.

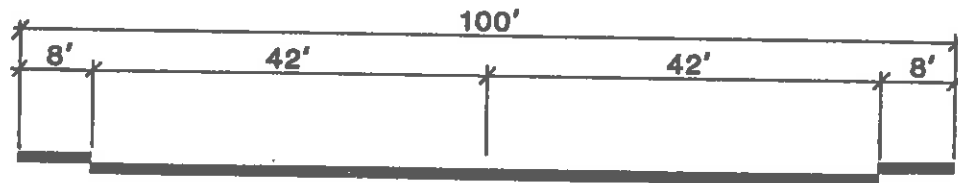
MAJOR STREET

Valley View St.
Katella Av.



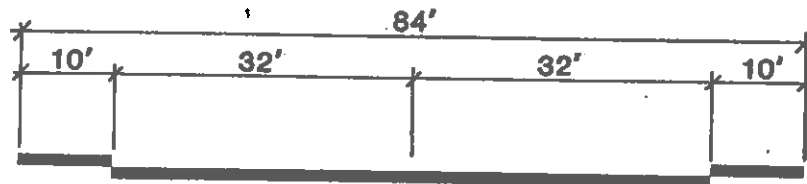
PRIMARY STREET

Knott St.
Walker St.

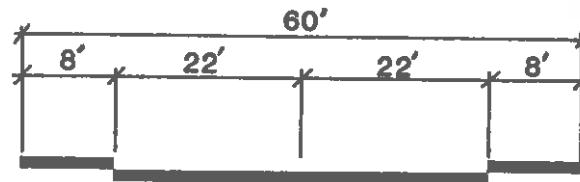


SECONDARY STREET

Holder St.
Orangewood Av.



LOCAL STREET



5. Holder Street

Holder Street runs parallel to Valley View and Knott Streets from the Stanton Storm Channel northward. It is a four-lane, fully improved secondary arterial with an eighty-four (84) foot right-of-way, and is signalized at the Katella Avenue intersection. The Holder Street-Stanton Storm Channel crossing is not improved.

6. Cerritos Avenue

Cerritos Avenue runs parallel to Katella Avenue north of the project area. It is a four-lane fully improved primary arterial highway with a one-hundred (100) foot right-of-way, and is signalized at the intersections of Walker Street, Valley View Avenue, Holder Street and Knott Avenue.

7. Orangewood Avenue

Orangewood Avenue, as designated a secondary arterial with an eighty-four (84) foot right-of-way, and currently is improved with two travel lanes. From Valley View Avenue to Knott Avenue this roadway is improved with four lanes. Traffic control consists of signals at Valley View Avenue and Knott Avenue, and a four-way stop sign at Holder Avenue.

8. Local Streets

Local streets within the project area shall connect planning areas with the arterial roadways described above. Local roadways within the project area shall have a sixty (60)-foot right-of-way and forty-four (44) foot curb-to-curb roadway width. Exhibit 6, Circulation Plan, depicts the preliminary alignments of local streets within the three planning areas. Chip Avenue and Hope Street are existing, fully improved streets. The road cross-sections are depicted in Exhibit 7. Planned local streets shall provide a minimum of two travel lanes and on-street parking opportunities and are shown in Exhibit 6 as conceptual alignments depicting current, anticipated planning assumptions. The need for, precise location of, and design and geometrics of local streets shall be submitted for approval by the Design Review committee at the time development is proposed. Such review shall be based upon adopted City Engineering design standards.

9. General Provisions

- a. No development shall be permitted on parcels without improved street access. For purposes of this standards, a street is a maintained public street or alley or a private street subject to the approval of the City Engineer and Public Works Director.
- b. Portions of any lot within any future right-of-way shown on the City's Official Plan Lines Map or in this Specific Plan shall not be occupied by structures, other than those encroachments normally permitted in rights-of-way. All other required setbacks, yards and open spaces shall be calculated on the basis of the establishment of the future right-of-ways; future right-of-way lines shall be considered to be lot lines for purposes of determining such setbacks, yards and open spaces.
- c. Dedication of the right-of-way shown on the City's Official Plan Lines Map or in this Specific Plan shall be required as a condition of approval for any development.
- d. Installation of curbs, gutters, sidewalks, streets and alley paving, street lighting and street trees shall be subject to the provisions of the City's Standard Improvement Plans.
- e. All street names within the project area shall be approved, and changed if necessary, by the City of Cypress.
- f. On-street parking on public roadways shall be prohibited.
- g. No structures shall be permitted to develop over existing pipeline, power line, drainage, transmission line or other similar easements, except where these can be relocated.

B. Vehicular Access Points

Primary access to specific project sites within Planning Area One shall be from Katella Avenue, Valley View Street and Orangewood Avenue at the points illustrated in Exhibit 6, Circulation Plan. Entries from Katella Avenue and Valley View Street are planned to accommodate two in-bound and out-bound travel lanes and a median. Orangewood Avenue is planned to accommodate one in-bound and one outbound travel lane and may be improved to two inbound and two outbound travel lanes within an 84-foot right-of-way, subject to the approval of the City of Cypress. Primary access to Planning Area Two shall be at two locations along Valley View Street: Chip Street and an intersection presently under construction at a point north of the Southern Pacific rail line, and at one point along Katella Avenue (Hope Street). These entries either exist as, or are planned to accommodate, one inbound and one outbound travel lane. Planning Area Three shall have primary access from Katella Avenue and Knott Street, the intersections of which are each specified in Exhibit 6.

The precise location, design and geometrics of these primary access points shall be submitted for approval of the Design Review committee and Director of Public Works at the time development is proposed. Such review shall be based upon adopted City Engineering design standards.

As the primary access to the project area, special design treatment by the developer shall be required, including special landscaping and decorative pavement materials as provided in Section VII, Design Guidelines, of this Specific Plan.

C. Pedestrian and Bicycle Trails

A pedestrian system is provided for in the Circulation Plan to allow pedestrian movement not only within the project area but also with surrounding land uses. Functional relationships (i.e., the mixture and interplay of uses in the area) will be further enhanced to the degree that convenient pedestrian access is provided.

The pedestrian system for the Warland/Cypress Business Center shall consist of street-sidewalks (within the rights-of-way of each adjoining street) and onsite internal pedestrian walkways. Inclusion of plans for pedestrian access and circulation shall be submitted for review and approval as a condition of the Site Plan Review.

Pedestrian access for the Warland/Cypress Business Center shall be built in accordance with the following standards:

- Walkways within street rights-of-way shall be to City Engineering standards and shall be located as provided for in the typical street cross-sections (see Exhibit 7).
- Internal walkways shall be separated from vehicular drives and shall connect at safe and convenient points with street sidewalks and street crossings.
- Pedestrian walkways shall directly link each building in the project area with parking areas, other buildings, and offsite areas.

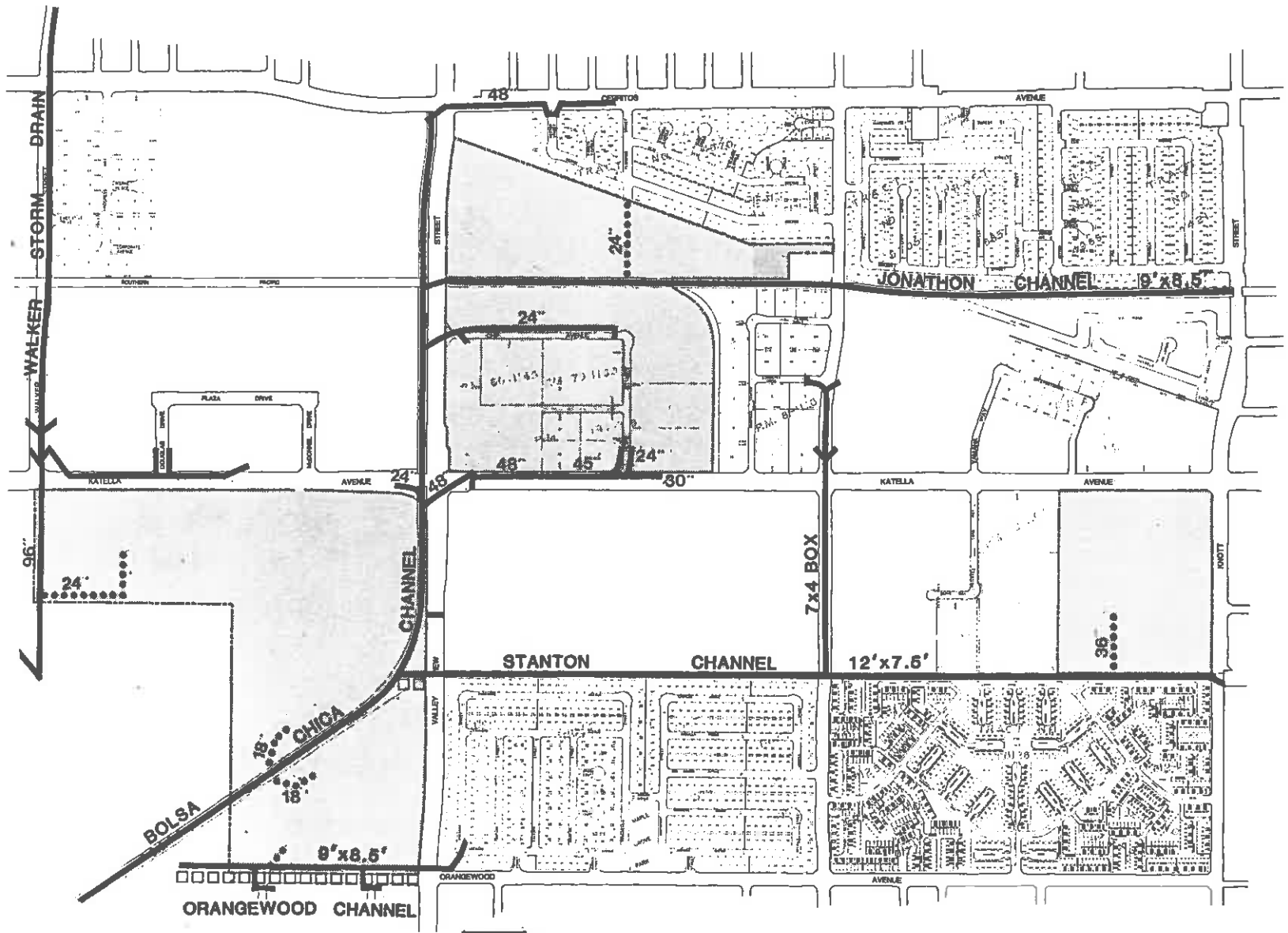
Existing bike lanes are located along both sides of Katella Avenue between Walker Street and Valley View Street; along the Bolsa Chica Channel up to and along Cerritos Avenue; along Knott Street from Cerritos Avenue to Syracuse Avenue and continuing south of Stanton Storm Channel; along Walker Street; and along the Stanton Storm Channel. These bike lanes are consistent with the City's Master Plan of Bikeways.

Bike trails shall be provided by the developer in accordance with the provisions of the City's Standard Improvement Plans unless costs are otherwise determined as a result of a negotiated development agreement.

D. Public Transportation

The Orange County Transit District operates two bus lines in the area, along Knott Street and Katella Avenue. There are currently seven stops along Katella Avenue at Walker Street, Douglas Drive, Valley View Street, Hope Street, Holder Avenue, Yamaha Way and Knott Street.

UTILITIES AND SERVICES



-  24" Existing Storm Drain
-  Proposed Storm Drain
-  To Be Enclosed

Storm Drain System WARLAND/CYPRESS BUSINESS CENTER

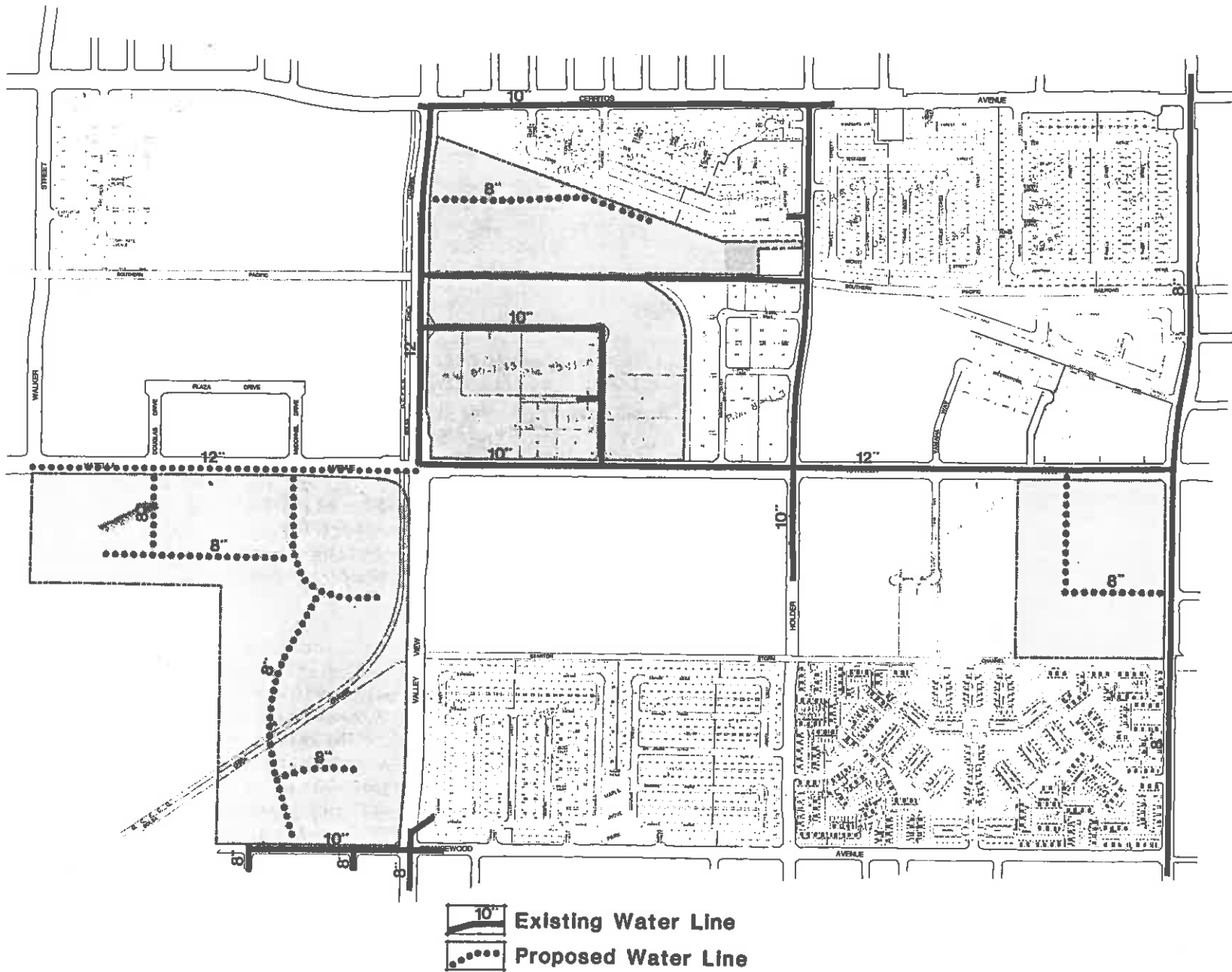
SECTION V: UTILITIES AND SERVICES CONCEPT PLAN

Services and facilities for the Warland/Cypress Business Center shall be extended and improved in conjunction with its phased development. Major infrastructure facilities are described below, along with specific requirements.

A. Drainage Plan

The drainage concept plan for the project area shall provide the required level of protection from flooding. This area is currently protected from major flooding by the existing storm drain system, major elements of which include four flood control facilities: the Knott-Cerritos Storm Drain, the Jonathon Storm Drain, the Stanton Storm Drain and the Bolsa Chica Channel. Three of these channels are sized to accommodate 10-year floods and the Bolsa Chica channel is sized to accommodate 25-year floods and ultimately 100-year floods with freeboard. Surface runoff within the northern developed portions of the project area is contained by a local drainage system which routes runoff into the three onsite channels as well as an additional offsite channel, Thompson Creek, located east of the project area.

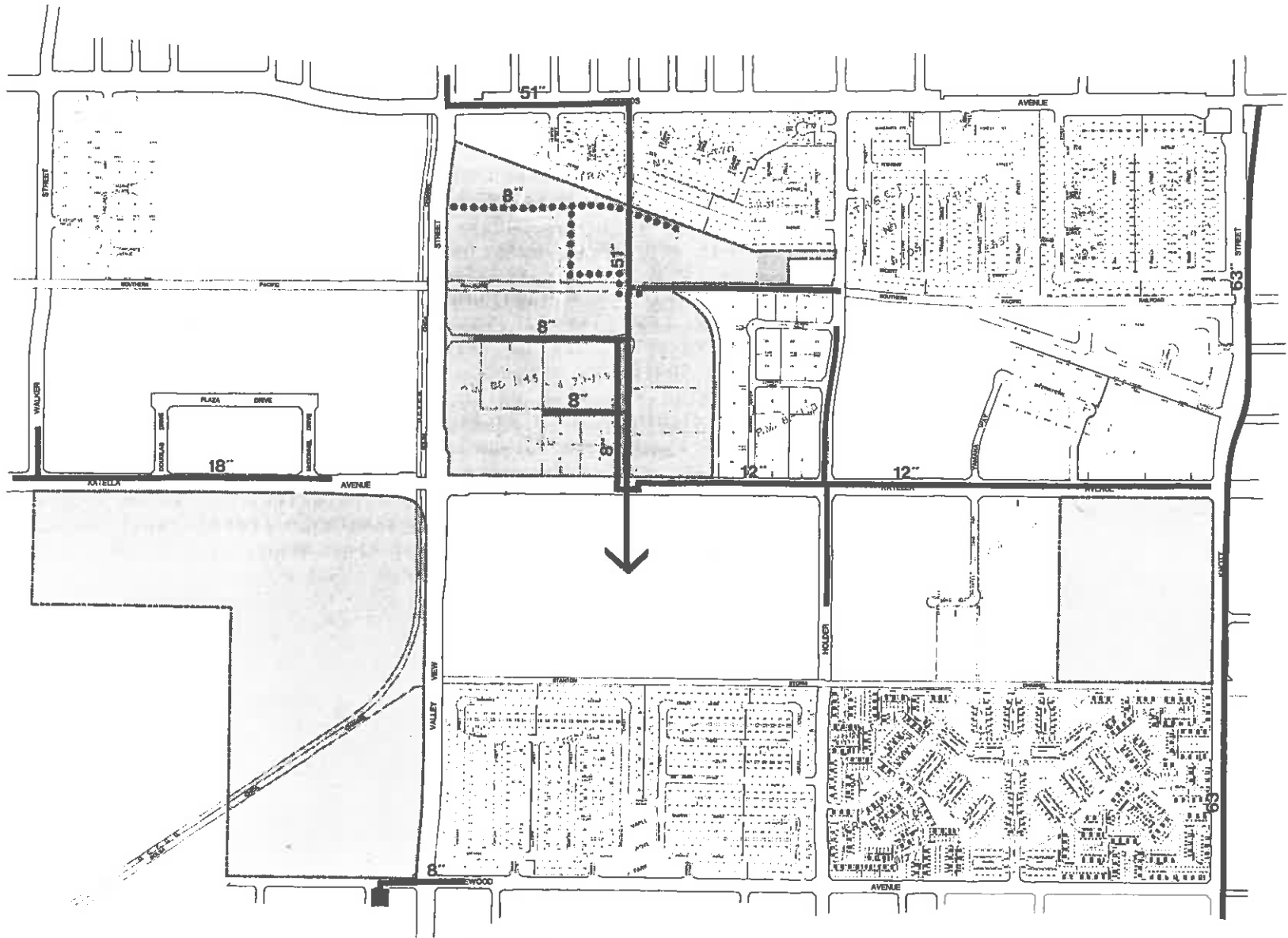
Improvement of the undeveloped areas will require additions to the existing storm drain systems in order to eliminate potential local problems. It is anticipated that drainage improvements will include pipes no larger than 36 inches in diameter. Exhibit 8 provides a schematic design of the existing and proposed drainage system. The exact size and location of the new storm drain lines is dependent on the alignment of proposed roadways and will be determined, subject to approval of a site plan. An improvement of note is the Bolsa Chica Channel and portions of the Stanton Channel within Planning Area One which is proposed to be a closed channel, contained within a culvert, the surface area of which will be used for parking and landscape areas. Additionally, Orangewood Channel shall also be a closed channel contained within a culvert in Planning Area One.






Water System WARLAND/CYPRESS BUSINESS CENTER

B. Water System Concept Plan

An extensive network of water lines currently serves existing development in the project vicinity. Additional water lines, of 12-inch diameter or smaller, shall be required to serve new development areas within the study area. Exhibit 9 depicts existing and future water lines comprising the Water Concept Plan. The ultimate location and size of future lines may slightly vary from that indicated in the Concept Plan as precise water system requirements will be determined during detailed levels of project design, and shall be subject to the provisions of Site Plan Review. Sizing of mains may also be adjusted in response to different land use intensities within each planning area. Water service to new development within the project area is contingent on the ability of the City's water purveyor(s) to meet the water demands posed by additional development within the region. The proposed water distribution system will be reviewed by the City of Cypress and the Southern California Water Company. Precise water line and facilities locations and sizing shall be determined and approved by the City prior to final tract maps.



-  Existing Sewer Line
-  Proposed Sewer Line
-  Pump Station

Sewer System WARLAND/CYPRESS BUSINESS CENTER



C. Sewer Concept Plan

The City of Cypress is responsible for the collection of wastewater within the project area, while the Orange County Sanitation District (OCSD) is the responsible agency for wastewater treatment. The OCSD has two major trunk lines which traverse the area in a north-south direction, one along Holder Street and one along Knott Street.

The existing wastewater collection system will be expanded to include service to those areas which are presently undeveloped. Several 8-inch collector lines will be added to the central portion of the project area.

Exhibit 10 illustrates the Wastewater System Concept Plan and includes existing and proposed wastewater collection facilities. The precise size and location of proposed lines will be determined prior to final tract maps and will be based upon the specific needs of the service area.

D. Other Utilities

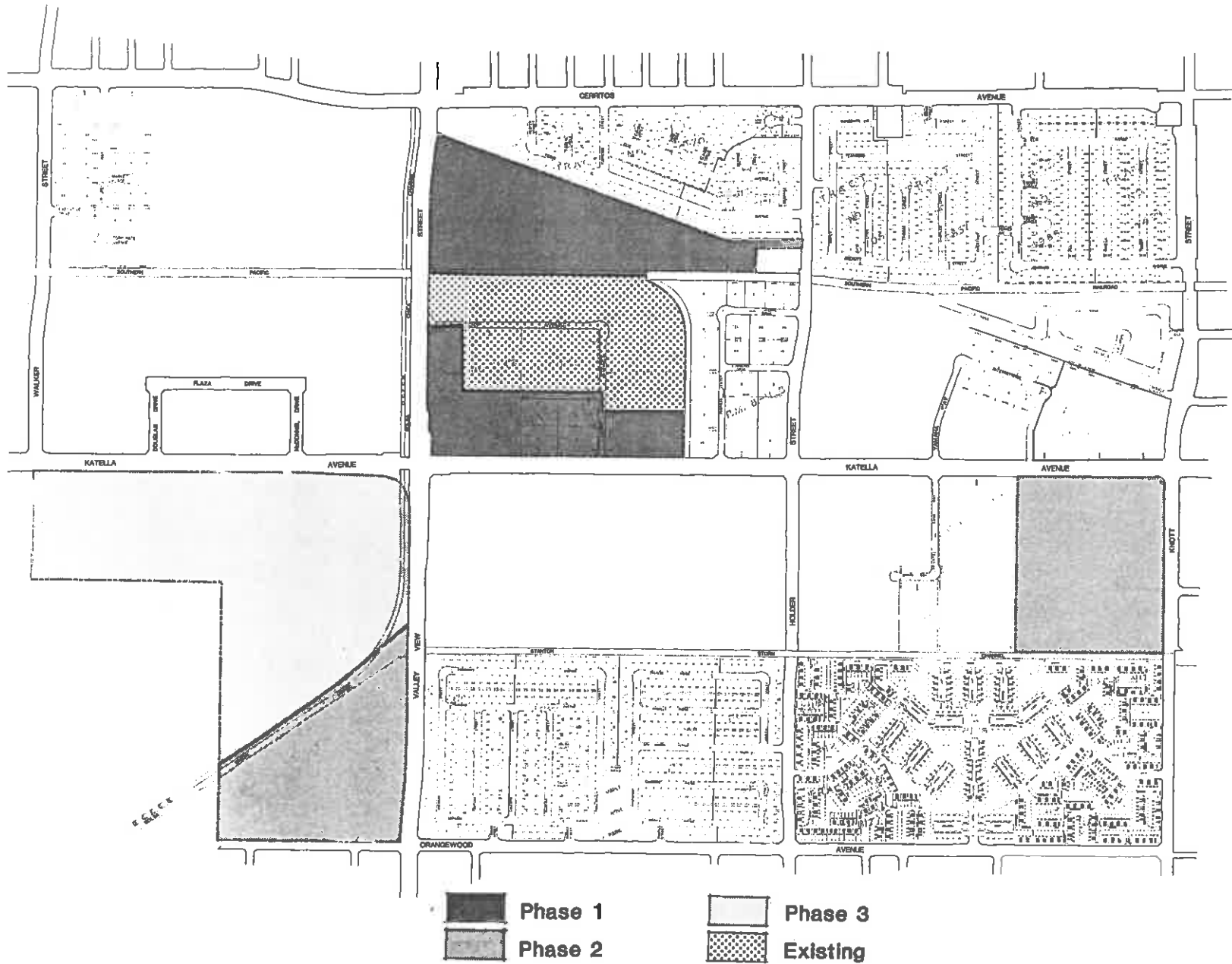
The Warland/Cypress Business Center lies within the service areas of Southern California Edison Company (electricity), Southern California Gas Company (natural gas), Pacific Bell (telephone, north of Katella Avenue), General Telephone (telephone, south of Katella Avenue) and Los Alamitos-Cypress Disposal Company (solid waste). This utility network can be expanded to meet the future demands of the project. The specific design and sizing requirements of necessary improvements and/or additions will be determined as part of the Site Plan Review procedures. Future utility line additions will be placed underground.

E. General Infrastructure and Service Requirements

1. Installation of curbs, gutters, sidewalks, street and alley paving, street lighting and street trees shall be subject to the provisions of the City's Standard Improvement Plans.
2. No structures shall be permitted to developed over existing pipeline, power line or other similar easements, except where these can be relocated, and with the approval of the City Engineer.
3. All onsite water supply, wastewater collection, storm drainage, and sewage lines and facilities shall be provided by the developer in accordance with the provisions of the City's Master Plans for water, sewers, and drainage, unless costs are otherwise determined as a result of a negotiated development agreement.
4. All utility lines serving the project area shall be placed underground by the developer as a condition of approval of building permits.
5. Adequate water for estimated domestic consumption and for fire flow requirements, as determined by the Orange County Fire Department, shall be provided by the developer, unless costs are otherwise determined as a result of a negotiated development agreement.
6. For any development within the Warland/Cypress Business Center the practicality of providing public facilities without incurring unusual public costs shall be demonstrated by the developer.
7. Costs for improvements to water drainage, and sewer systems included in the City's adopted Master Plans for water, drainage and sewers shall be assigned to each development lot or parcel in accordance with a cost-benefit formula established by the Public Works Director, based on current engineering construction costs, as amended from time to time, or as otherwised determined as a result of the negotiated development agreement.
8. Development of the project area shall comply with all the requirements of the Orange County Fire Department in providing adequate fire flow, number and location of hydrants, building clearances, and street turning radii for access.

9. The developer shall review with the Police Department the nature of the development and types of security measures appropriate to be included.

PHASING PLAN



Phasing Plan WARLAND/CYPRESS BUSINESS CENTER

SECTION VI: PHASING PLAN

The purpose of a phasing concept plan is to outline the sequence of land use development, and to determine the implications of growth on project feasibility infrastructure requirements, and City revenues following a set of planning assumptions. The actual course of development phasing is important for the execution of capital improvement and operating budgets, as well as the timely generation of public revenues.

The location, rate and specific character of new development is greatly influenced by future economic conditions which cannot be predicted with accuracy at this time. The phasing scenario and the actual realized pace of development are very sensitive to absorption rates which, in turn, are influenced by national economic conditions, competition in the regional and local markets, the costs of development and the actions of government agencies. Other factors which will influence the phasing of development include the desires of individual landowners and developers, and project incentives which may be offered by a public jurisdiction.

Phasing of development within the area in question (see Exhibit 11) involves a number of considerations including:

- The timing of public offsite improvement costs;
- Identifying combinations of parcels which can be freestanding in terms of parking, access and other considerations (logical combinations of lots consolidation);
- Allowing for a number of combinations of development options/lot consolidations;
- Matching absorption potentials identified in market analyses; and
- Integrating the potential for assistance from the City's redevelopment agency.

Following is a brief summary of each sequence of the Phasing Plan:

<u>Phase</u>	<u>Planning Area</u>	<u>Acres</u>
One	2*	82.45
Two	1, 3	52.9
Three	1	<u>76.35</u>
		211.7

* includes existing

Project phasing is based upon a eight to ten year build-out, and the assumption of relatively even annual absorption rates. Building square footage calculations are estimates are subject to change.

DESIGN GUIDELINES

SECTION VII: DESIGN GUIDELINES

A. Introduction

Design Guidelines for the Warland/Cypress Business Center are intended to define and emphasize the uniqueness of the project area and to establish proper relationships with surrounding areas. Katella Avenue and Valley View Street are important business corridors of the City, they carry a significant amount of through travel, and they will provide an important focus for the southern portion of the City of Cypress.

In general, landscaping and site design within the project area should be organized and formal in nature, consistent with the structured, urban character which is intended for the Warland/Cypress Business Center. Site design and landscape development should be based upon promoting a strong identity and "sense of place" within the Specific Plan area. The plan must respond to the multiple purposes of the Warland/Cypress Business Center: General office, corporate headquarters, research and development, general business park and retail commercial center. The emphasis for design treatments should advance these objectives throughout the entire fabric of the project area: through building forms and materials, streetscapes, setback areas, project areas and within special treatment areas. Combined, these elements can allow the Warland/Cypress Business Center to be distinctively different from its surroundings, and to provide a sense of identity to this project.

B. Landscape Concept Plan

The Landscape Concept Plan (see Exhibit 12) is an integral element in achieving a distinctive development character for the project area. This character is reinforced through the coordinated design and selection of landscape and paving materials, and emphasis on special features. Required guidelines are specified for the following categories:

- Streetscapes
- Project Edges
- Project Entries
- Landscape Materials
- Hardscape Design Elements
- Signage

The Landscape Concept Plan contained herein establishes a framework for consistency of design between the ultimate development pattern and phased increments. As phases are implemented, landscape plans shall be approved which are consistent with and implement these concepts. The above categories are described in the following pages.

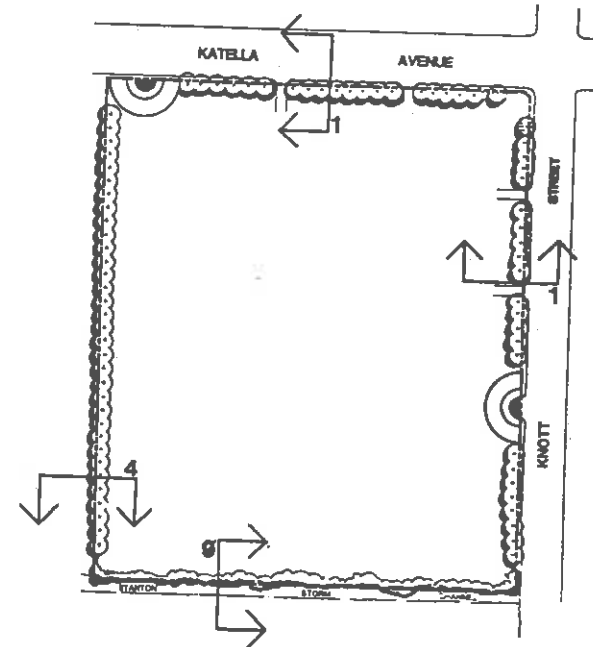
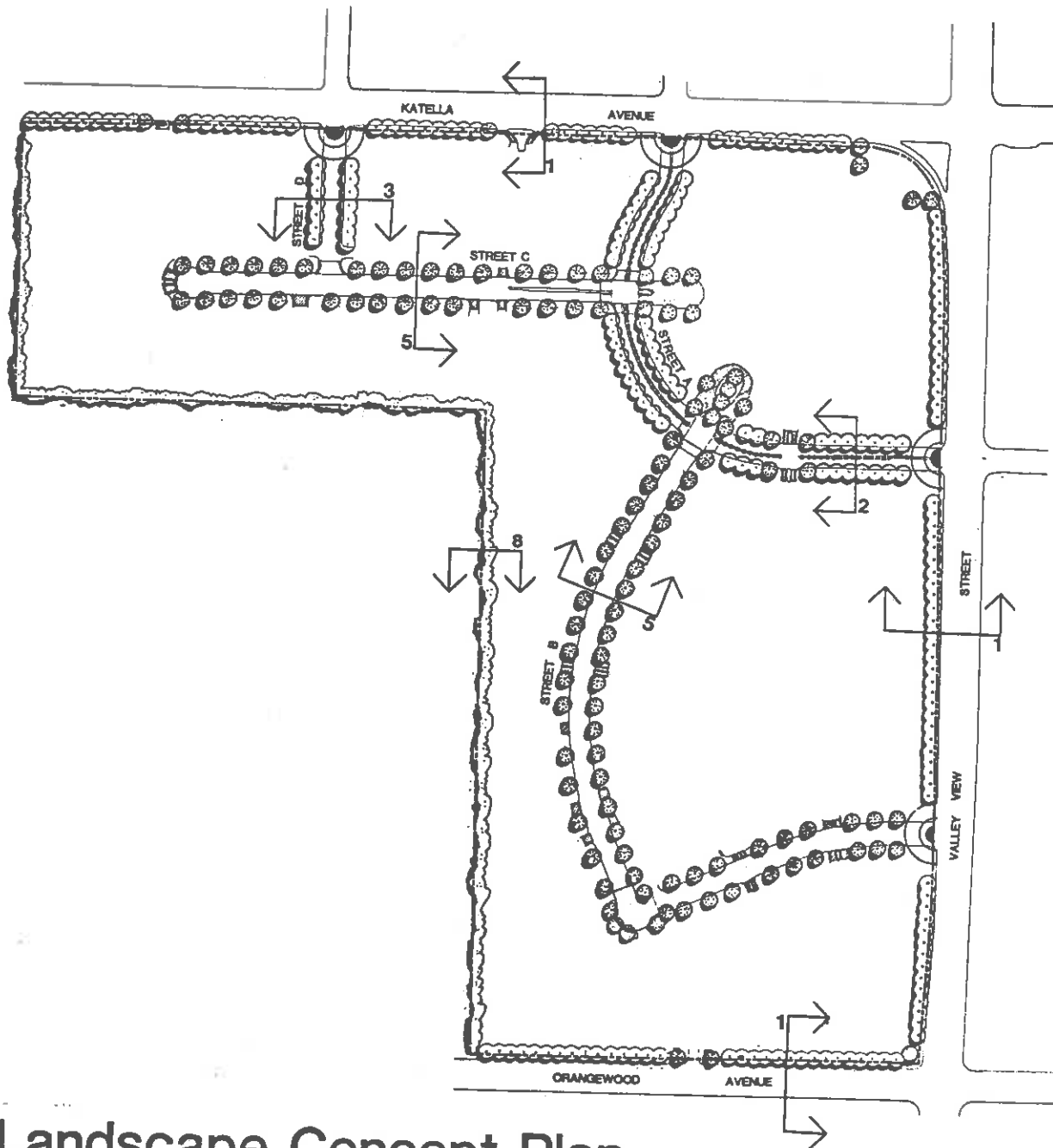
1. Streetscapes

a. Landscape Edge Adjacent to Surrounding Arterials

To create a unifying element surrounding the project area, a landscaped edge will be maintained adjacent to Valley View Street, Katella Avenue, Knott Street and Orangewood Avenue. This edge will contain informal tree plantings with shrubs along all parking lot edges and turf below on undulating berms 30" - 36" in height. The width of the landscape edge will vary with the adjacent street. Minimum widths from curb to parking or building edges are shown in Exhibit 13.

Recommended plant materials within these streetscapes are as follows:

Trees:	Tristania conferta	(Brisbane Box)
	Jacaranda mimosifolia	(Jacaranda)
	Erythrina caffra	(Coral Tree)
Groundcovers:	Turf	
	Vinca minor	(Dwarf Periwinkle)



TRY AREAS

- (APE EDGE ADJACENT (ROUNDING ARTERIALS))
- (APE EDGE ADJACENT (RIVAL ROADWAYS))

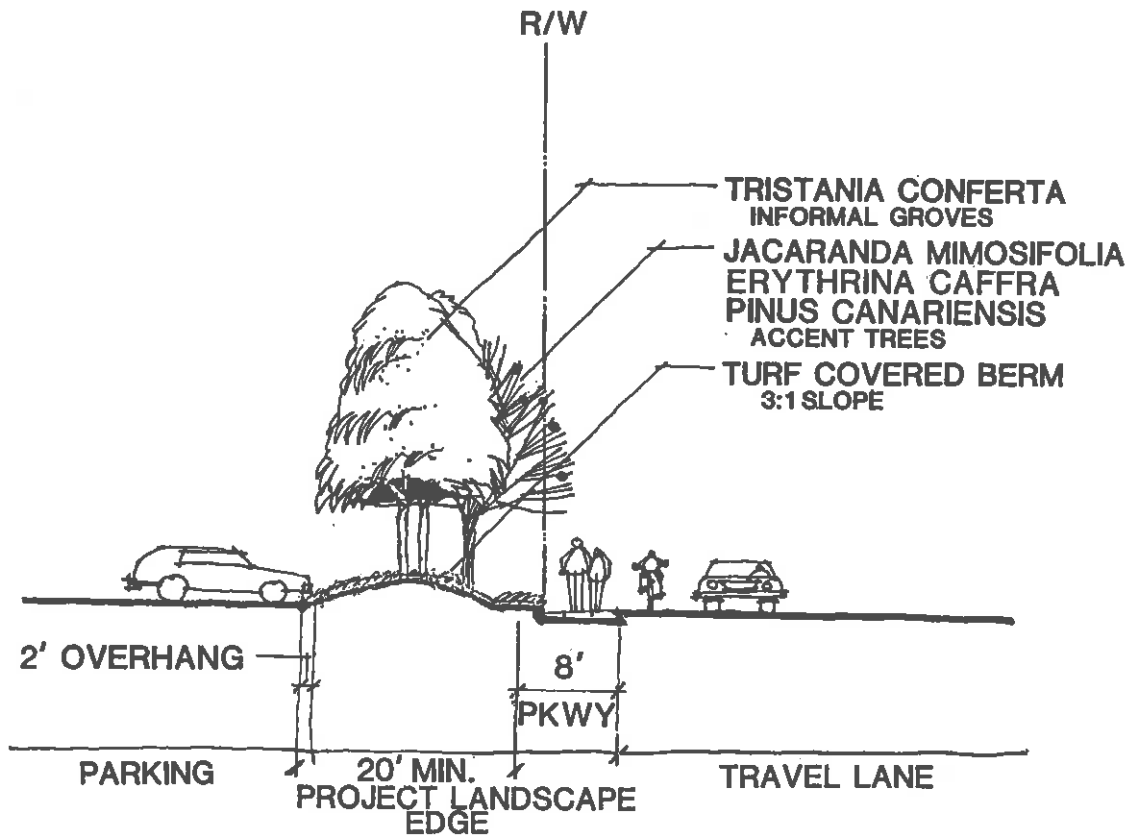
PLANTINGS

FFER

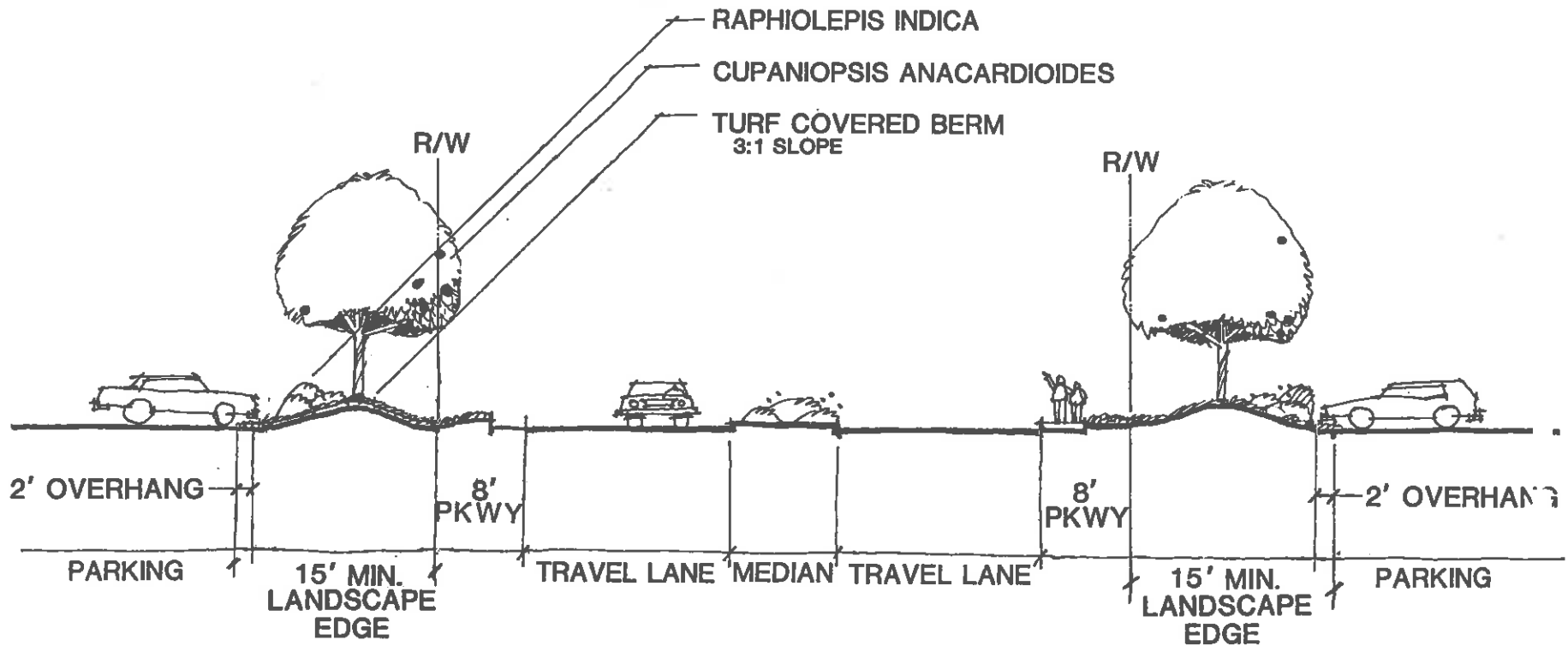
Landscape Concept Plan WARLAND/CYPRESS BUSINESS CENTER

EXHIBIT 12





**SECTION 1 - TYPICAL: ORANGEWOOD AVENUE, KNOTT AVENUE,
VALLEY VIEW STREET AND KATELLA AVENUE
(15' TYPICAL ADJACENT TO RETAIL COMMERCIAL)**



SECTION 2 - TYPICAL: STREET A

b. Median Island Landscaping

Median island landscaping and irrigation are to be installed in median islands on the following arterials:

- 1) Katella west of Knott;
- 2) Valley View between Katella and Stanton Channel;
- 3) Katella west of Valley View

Improvement costs shall be allocated on a fair-share basis and be subject to the approval of the City of Cypress.

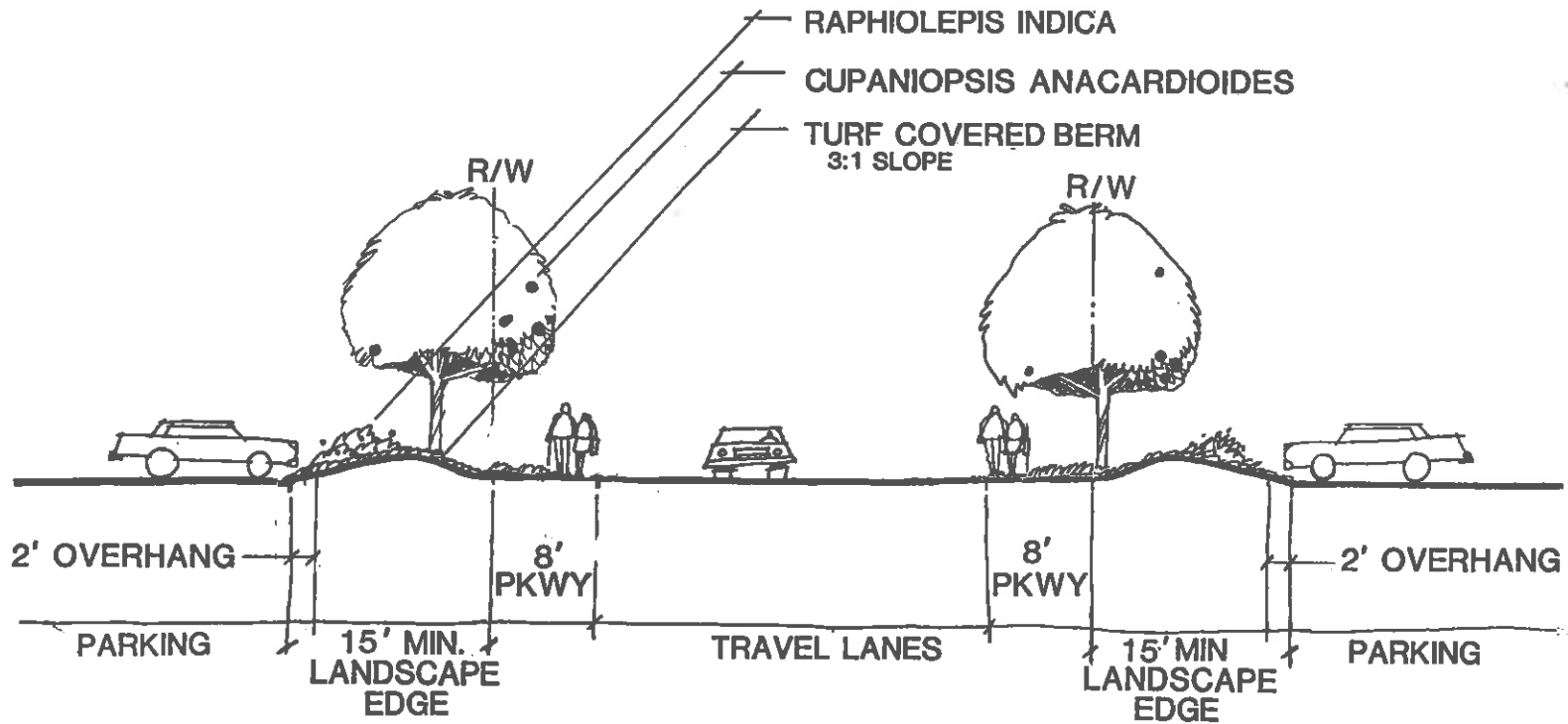
c. Landscape Edge Adjacent to Internal Roadways

To provide a unifying element within the project boundaries, the following streetscape guidelines shall be implemented. Streets A, B, C, D and E which provide the major access to the Business Center shall be landscaped in a formal urban arrangement. These streets shall be landscaped with a consistent tree species to identify each roadway as the primary circulation feature. Streets A, D, and E shall employ different tree species from those of Streets B and C to create a variation and a strong sense of entry (Exhibits 14, 15, 16, 17, 18).

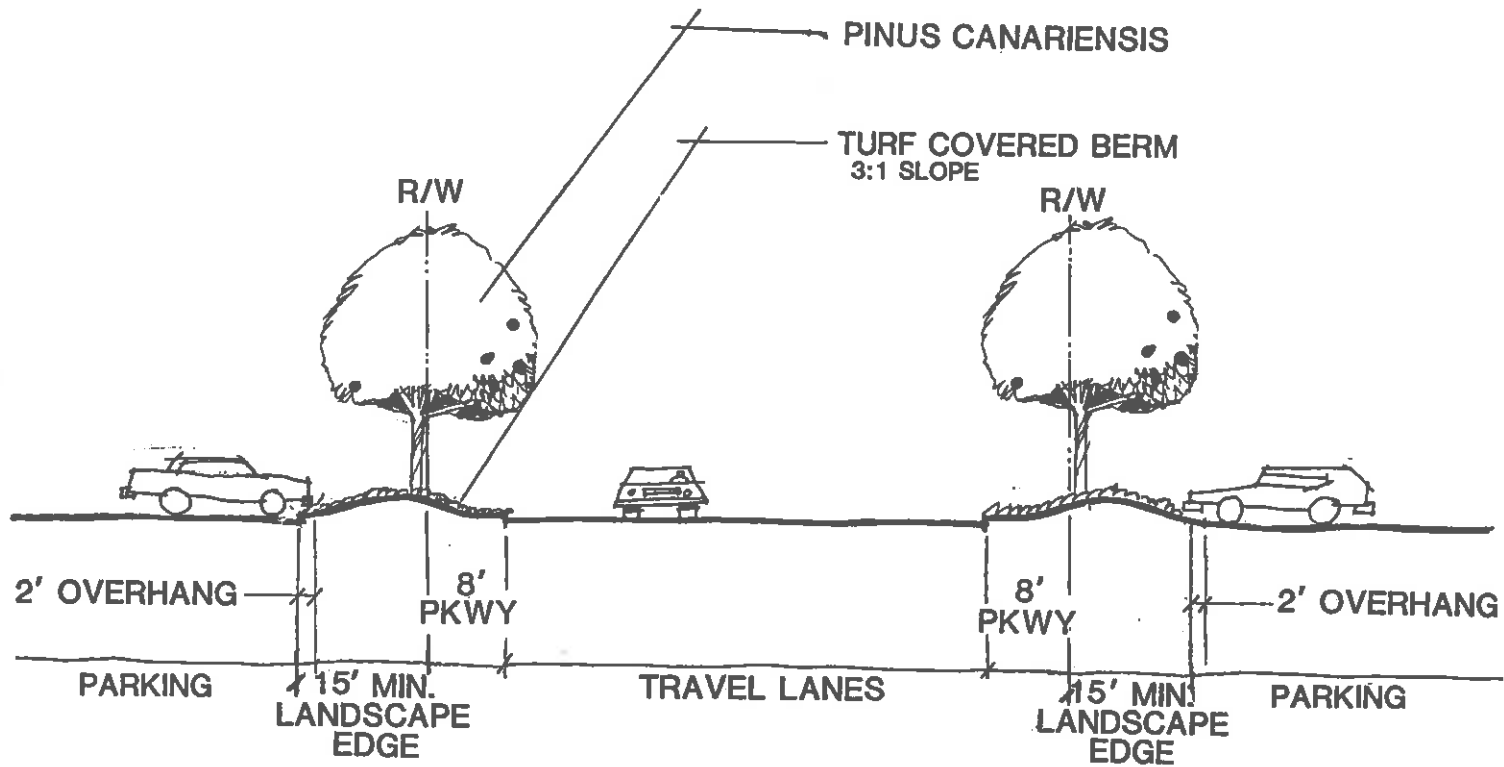
All internal streets shall maintain a minimum fifteen-foot landscape strip between the curb and parking or building edge. This strip shall be planted with trees, shrubs along the parking lot edges and turf below. Medians located at project entries shall be planted with shrub species identical to the adjacent street edge with turf below.

Recommended plant materials are as follows:

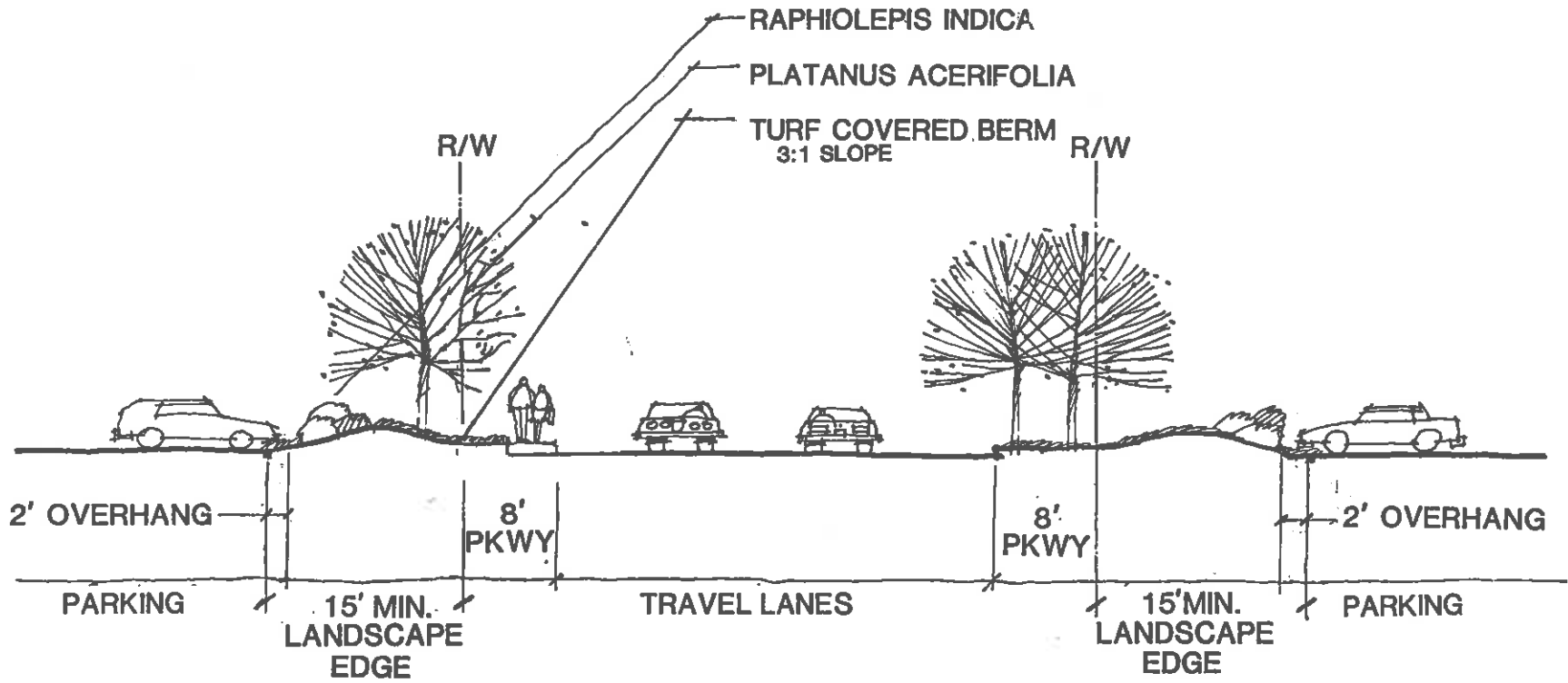
Trees: (Street A and D)	Cupaniopsis anacardioides (Carrot wood) (Approximately one tree per 30 linear feet of street frontage, not including drives.)
(Street E)	Pinus canariensis (Canary Island pine) (Approximately one tree per 30 linear feet of street frontage, not including drives, as approved by City staff. Site restrictions at some locations on Street E may require the use of other plant materials, subject to the approval of City staff.)
(Street B and C, Chip Street, and Hope Street)	Platanus acerifolia (London plane tree) (Approximately one tree per 30 linear feet of street frontage, not including drives.



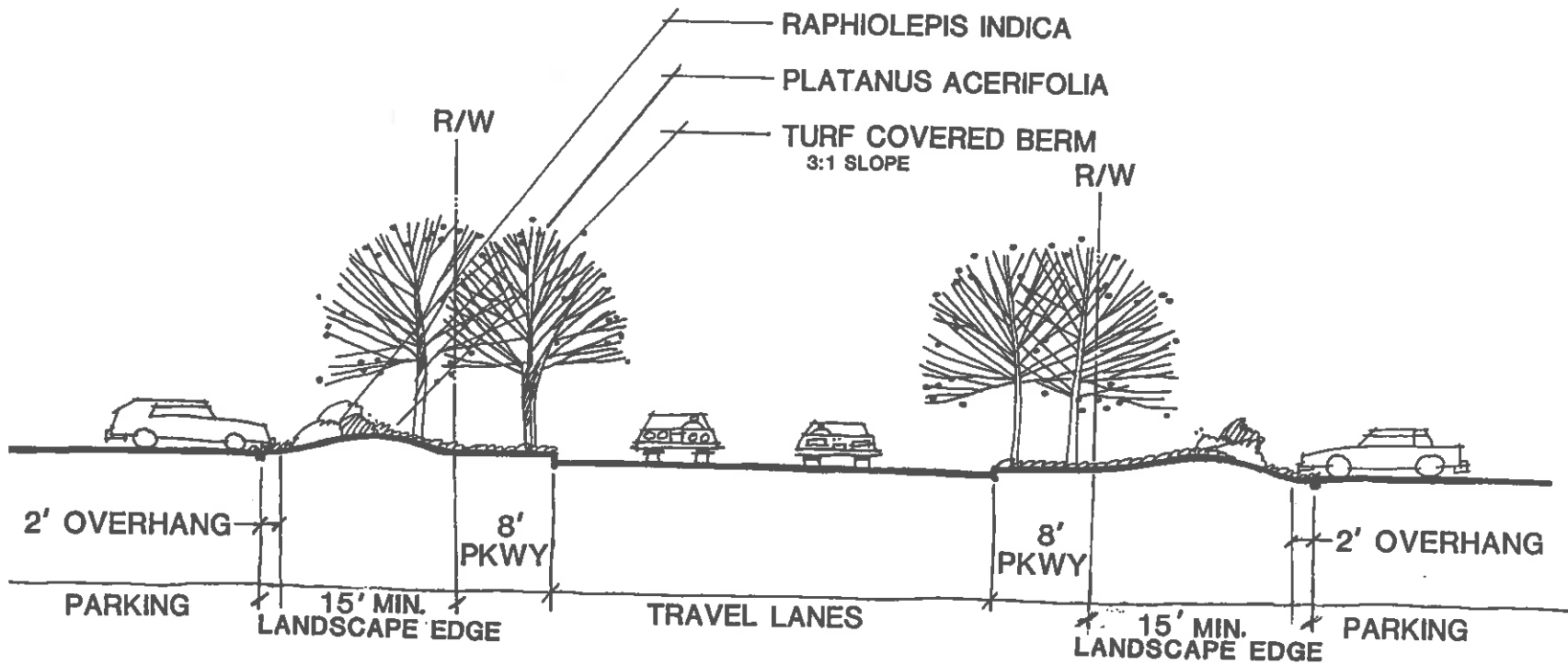
SECTION 3 - TYPICAL: STREET D



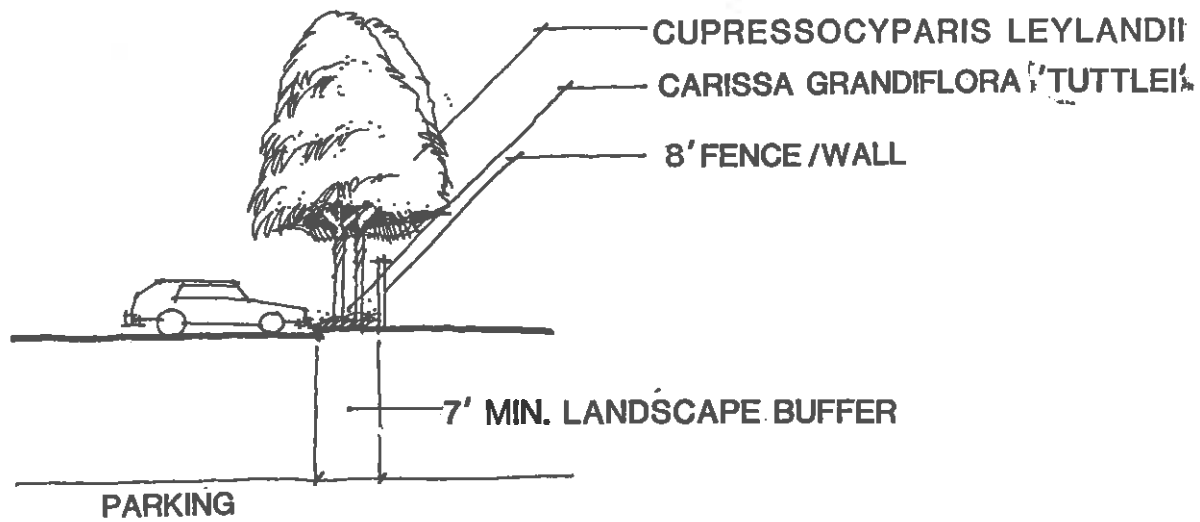
SECTION 4 - TYPICAL: STREET E



SECTION 5 - TYPICAL : STREETS B AND C



SECTION 6 - TYPICAL: CHIP STREET AND HOPE STREET



SECTION 7 - INDUSTRIAL - RESIDENTIAL

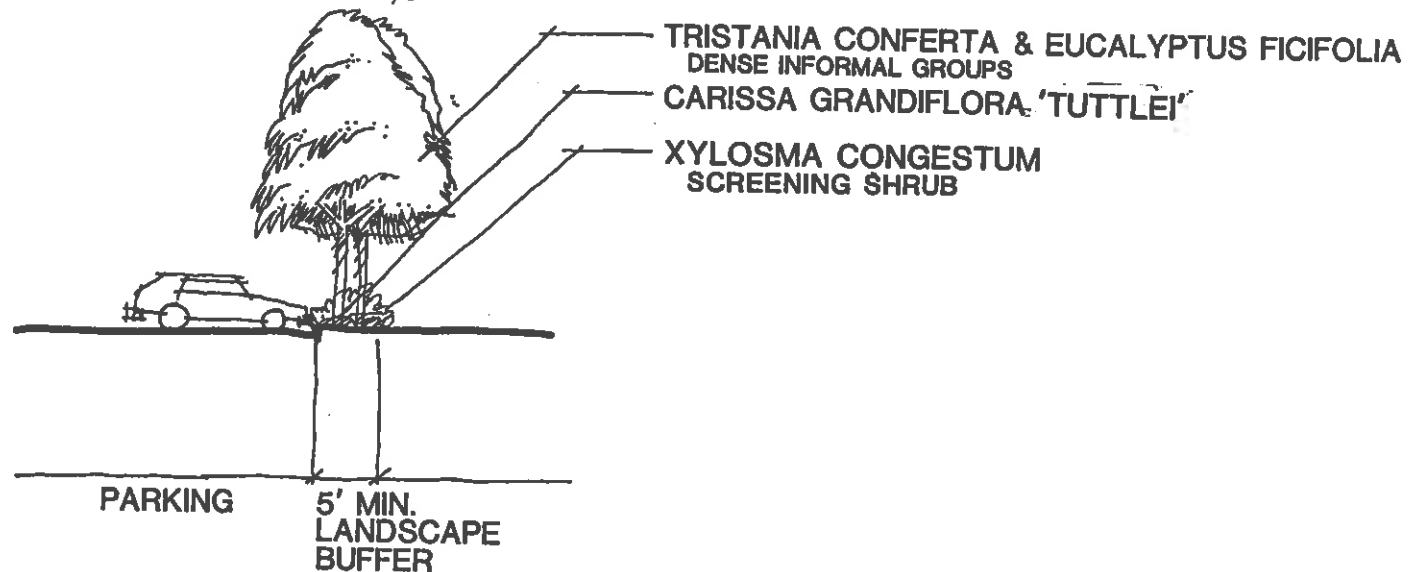
or triangulate spacing at 25 feet on center in groups.)

Shrubs: (Streets A-D)
Groundcover: (Streets A-D)

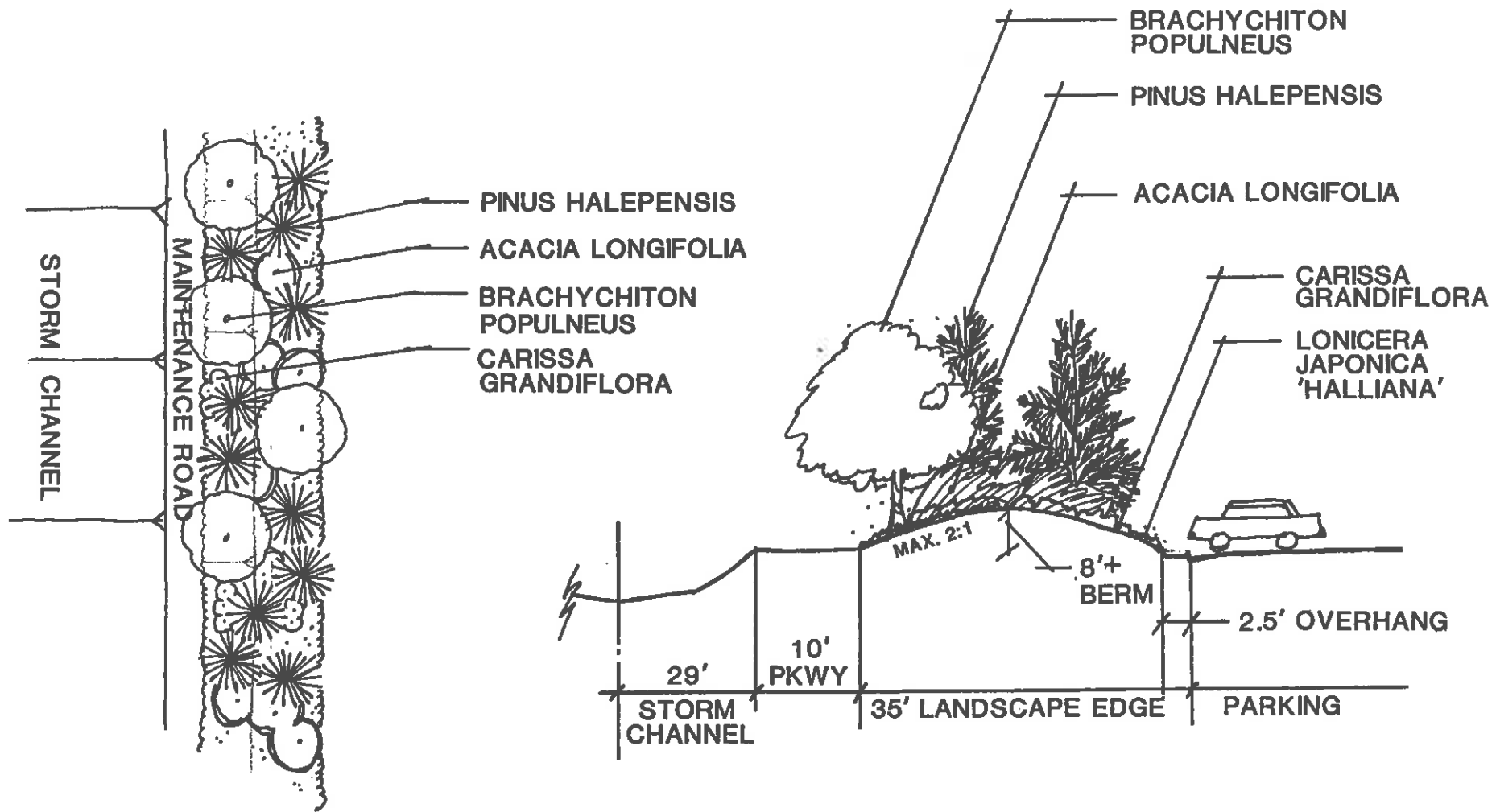
Raphiolepis Indica (India hawthorn)
Turf
Potentilla verna (Spring cinquefoil)

2. Project Edges

The edge buffer of the Center shall consist of a dense, informal planting of trees in a minimum five (5) foot landscape strip (see Exhibits 19, 20). This consistently landscaped edge will identify the boundaries of the Center and will provide buffer from the adjacent land use activities. Permanent groundcover will be established below trees. Also an edge buffer adjacent to the Stanton Channel in Planning Area 3 shall be constructed per existing City plans using plant materials specified by the City (see Exhibit 21).



SECTION 8 - TYPICAL EDGE BUFFER



PLAN

SECTION 9 - STANTON CHANNEL BERM

Recommended plant materials for typical edge buffers are as follows:

Trees: *Tristania conferta* (Brisbane box)

Shrubs: *Xylosma congestum* (Shiny xylosma)

Groundcover: *Crissa grandiflora* tuttle (Dwarf natal plum)

3. Project Entries

Entries to the Warland Cypress Business Center shall be special accent points which announce entry and set the theme of the Center. Entry designs are depicted graphically in Exhibit 22.

Recommended plant materials:

Tree: *Erythrina caffra* (Coral tree)

Shrubs: *Pittosporum tobira* variegata (Tobira)

Raphiolepis indica 'Pink Lady' (India hawthorn)

Hemerocallis spp. (Daylily)

Agapanthus africanus (Lily of the Nile)

a. Accent Trees

Large scale canopy flowering trees will be utilized at specific project entries to highlight and provide an entry gateway at project sites.

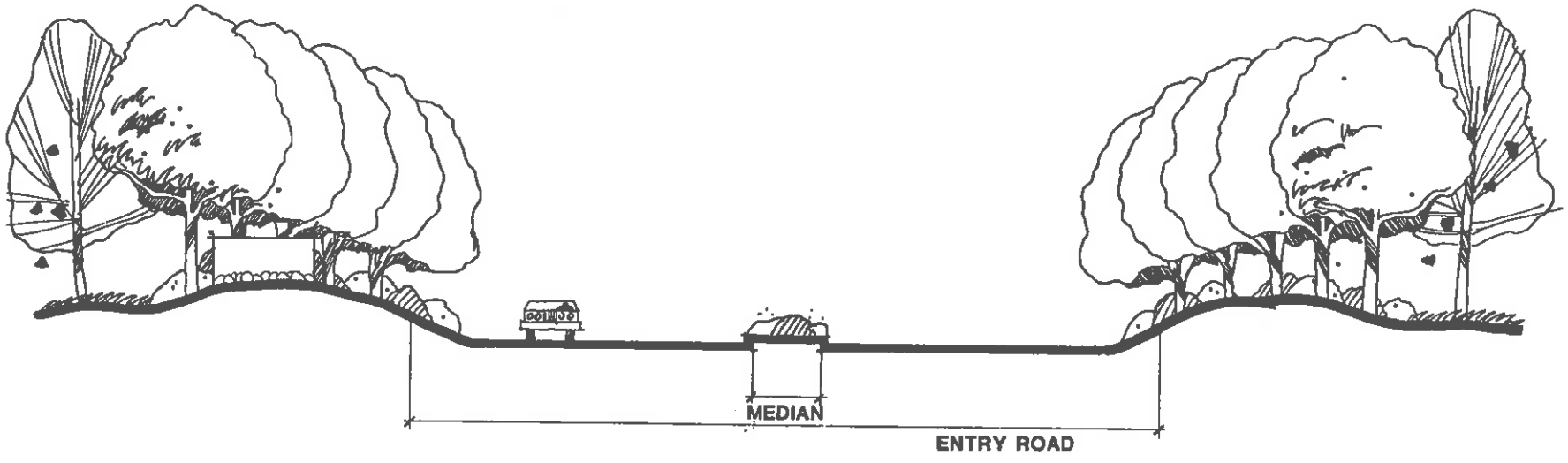
Recommended Plant Materials

Trees: *Erythrina caffra* (Coral tree)

b. Special Paving

Special/enhanced, paving may be utilized at specific project entries, but shall not be a part of the public right-of-way. The special paving will highlight the entry by providing a visual and textural contrast to the surrounding paving materials.

Recommended Materials: Cobblestone
Textured and colored concrete
Brick or masonry



SECTION 10 - PRIMARY ENTRY TYPICAL - STREET A

4. Landscape Materials

In addition to the tree selections already specified, the following shrubs, ground covers and lawn shall be incorporated into the site where appropriate. Alternative choices are subject to Site Plan approval. Additionally, developers shall have the option to incorporate species of existing trees located nearby, subject to the approval of the Design Review Committee.

a. Shrubs

Shrubs shall be used for screening of parking areas and for special effects at entries and around building. Shrubs of like species should be used in large masses to avoid a spotty, disconnected ground plane.

Carissa grandiflora (Natal plum)
Hemerocallis species (Day lily)
*Ligustrum japonicum (Japanese privet)
Pittosporum tobira (Tobira)
Raphiolepis indica (India hawthorn)
Trachelospermum jasminoides (Star jasmine)
*Xylosma congestum (Xylosma)

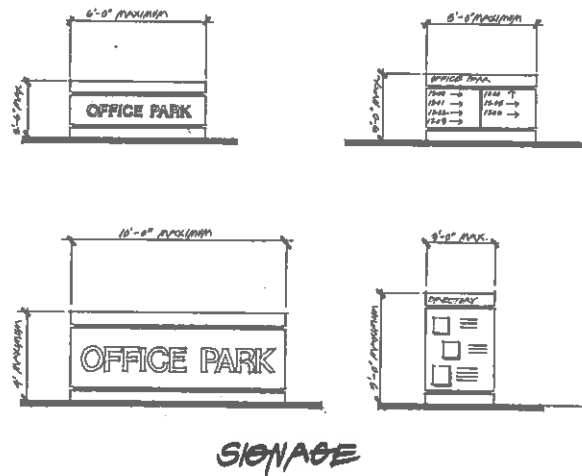
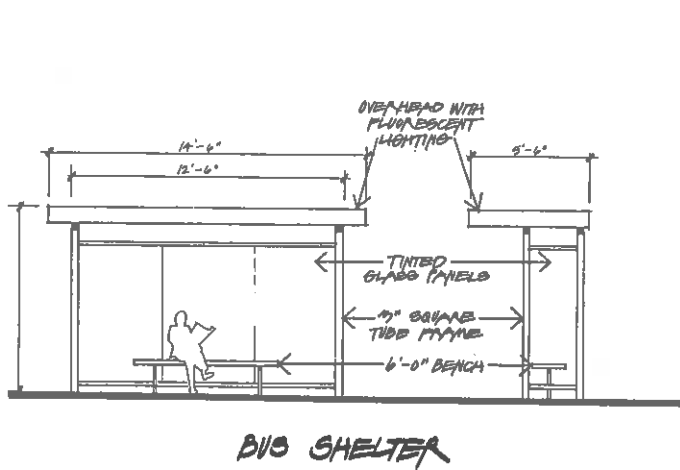
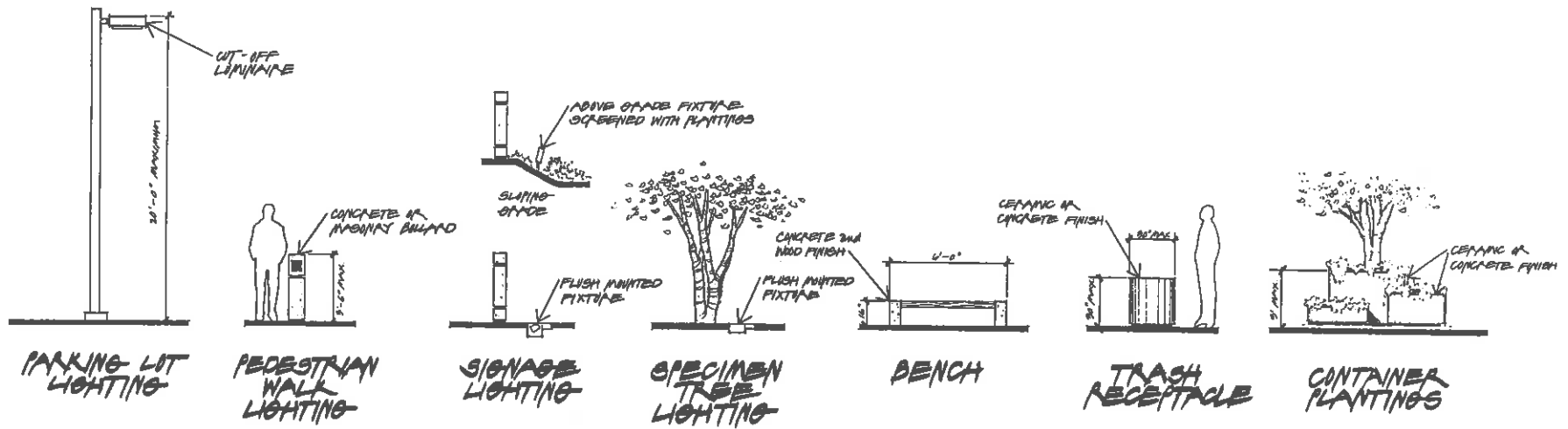
b. Groundcovers

For use in planting beds and median strips, shall be easy to maintain and used to complement lawn areas.

Hedera Helix 'Hahn's' (Hahn's ivy)
Hypericum calycinum (Aarons beard)
Potentilla verna (Spring cinquefoil)
Vinca minor (Dwarf periwinkle)

5. Hardscape Design Elements

Hardscape design elements, incorporated into the overall design theme for plaza/courtyard or transitional spaces within Warland/Cypress Business Center shall include, but not be limited to: light fixtures, bollards, benches, trash receptacles, planters, bus shelters. These are depicted in Exhibit 23. Hardscape elements will function to allow a coordinated and consistent visual and physical connection between buildings and landscape materials within the project area.



Hardscape Elements WARLAND/CYPRESS BUSINESS CENTER

Building materials to be used as key hardscape elements are specified below. All materials utilized for walls, fences, paving, lighting and street furniture shall be coordinated with and complementary to architectural design details and materials.

a. WALLS AND FENCES

- Concrete masonry: integral color, 4" coursing maximum.
- Brick.
- Concrete: textured, bush hammered, rock salt, sandblasted, integral color in earth tones.
- Wrought iron (as accents).
- Stucco: integral or painted color (same as building stucco color).

b. PAVING (within enhanced areas)

- Concrete, integrally colored, rock salt, exposed aggregate finish with brick or wood edges, or stamped concrete.
- Paving brick.
- Paving brick tile.
- Textured concrete.
- Precast rough-textured pavers, integrally colored.
- Quarry tile in earth tones.
- Rough textured granite.
- Rough textured marble.
- River washed stones/cobblestones.

c. LIGHTING

- Exterior building lighting (spot or flood lights concealed in landscaping).
- Onsite roads/parking light standards.
- Pedestrian pathways (bollard lights).
- Pedestrian plaza/courtyards (bollard lights).
- Landscape lighting (spot or flood lights concealed in landscaping).
- Signage lighting (self-contained or concealed in landscaping).

6. Signage

The intent of this subsection is to provide the guidelines and regulations necessary to achieve a visually coordinated, balanced and appealing signage system throughout the Warland/Cypress Business Center, particularly one that promotes compatibility with the architectural controls and landscape concepts contained within this Specific Plan.

a. GENERAL PRINCIPLES FOR REVIEW BY DESIGN REVIEW COMMITTEE

- 1) Signage shall be compatible with the visual image and architectural design within the Specific Plan site and shall identify with substantial authority the following elements:
 - Entry signs as conceptually shown on Exhibit 22.
 - Vehicular and pedestrian directional signage.
 - The individual buildings by number and name.

- 2) "Human scale" shall be maintained.
- 3) Signage for individual buildings shall not be allowed to conflict or interfere visually with other signage.
- 4) Signage shall contain only that information necessary to identify the primary elements on the lot on which the signs are located.

b. GENERAL PROVISIONS

- 1) No sign shall be installed or constructed until it has been approved by the Design Review committee in accordance with the provisions of this Specific Plan.
- 2) A sign includes all parts, materials, frames and backgrounds.
- 3) Logos or identification symbols shall be considered signs. Sign information will be limited to tenant's tradename, logo and/or logo type. The use of advertising or brand names will not be allowed unless specifically approved by the Design Review committee.
- 4) All signs and their supporting structures shall be enclosed, structurally safe, and maintained in good condition.
- 5) All freestanding permanent signage structures shall be cast in concrete with the design approach being one of monolithic permanence. Lighting for these signs can utilize flood lights located at their base to provide a wash of light over the structure. Signage lettering and numbering may be cast letter (cast into structure or raised-case letters fixed to the face of the structure), self-lit type, sandblasted into wall surface or onto wood. Alternative materials, consistent with architectural plans may be used, but are subject to Site Plan Review. Wall signs shall be composed of wood, metal, plastic (plexiglass or fiberglass), paint or comparable weather-resistant material subject to review and approval of the Design Review committee. All cabinets, conductors, transformers or other equipment must be concealed from public view.

- 6) All signs and their supporting structures shall comply with all local building and electrical codes.
- 7) The following limitations on temporary signs shall apply:
 - Onsite unlighted subdivision signs shall be allowed for a non-renewable period of one (1) year, provided that one sign is allowed per project, the sign area per face does not exceed 100 square feet, it is erected only for the purpose of announcing the subdivision and sale or rental of the property where located, and that it is approved by the Administrative Committee.
 - Unlighted political signs shall be allowed for a period of up to sixty (60) days prior to an election and up to five (5) days after the same election provided that no sign is located on any public right-of-way or property.
 - Banners, flags, aerial signs, and other non-exempted temporary signs shall be allowed for a non-renewable period of thirty (30) days, subject to approval of a temporary sign permit from the Design Review committee if the committee finds that the sign and/or banner complies with the general standards for review above. No more than two (2) temporary sign permits may be issued per business per year. Temporary sign permits should only be issued for grand openings, open houses, or special events, as approved by the Design Review committee.
- 8) One (1) unlighted real estate sign per frontage, not exceeding 20 square feet in size, pertaining only to the sale, lease, or rental of the particular commercial or office building or property.
- 9) One (1) unlighted construction sign per job site, not exceeding 32 square feet containing the name of the project, and the names and addresses of the contractors, architects, engineers, landscape architect, project or leasing agent, financing company, or developer.
- 10) Sign area shall be measured by circumscribing a rectangle around the main body of the sign.

c. PRIMARY ENTRY SPECIFICATIONS

- 1) Number, location and area: Primary and secondary project entry shall be permitted adjacent to the project entries specified in Exhibit 6, Circulation Plan (one sign per entry). Primary entry signs shall not exceed 4 feet in height and 40 square feet in size per face on each sign. Secondary entry signs shall not exceed 2.5 feet in height and 15 square feet in size per face on each sign. Examples of primary signs are shown on Exhibit 22.

d. VEHICULAR AND PEDESTRIAN DIRECTIONAL SIGNAGE

- 1) Number, location and area: Vehicular and pedestrian directional freestanding signs shall be permitted, wherever necessary and subject to approval of the total number of such signs by the Design Review committee. Vehicular directional signs shall not exceed 3 feet in height and 15 square feet in size per face on each sign. Pedestrian signs shall not exceed 5 feet in height and 15 square feet in size per face on each sign. Locations are subject to Design Review committee review and approval.

e. BUILDING SIGNAGE

1) Wall Signs:

- a) No wall sign will exceed an area equal to one and one-half (1-1/2) square feet of sign for each one foot (1') of lineal frontage of the building or store. However, no sign shall exceed 150 square feet or area nor comprise more than ten percent (10%) of the area of the elevation upon which the sign is located.
- b) In multi-tenant industrial buildings, each individual industry may have a wall sign over the entrance to identify the tenant. Said signs will be oriented toward the street, parking or pedestrian area for that building and shall not exceed one (1) square foot of sign area for each lineal foot of building frontage up to a maximum of twenty (20) square feet.

- 2) Ground Signs: Ground signs shall not exceed four feet (4') above grade in height nor more than one and one-half (1-1/2) square feet in area for each one foot (1') of lineal frontage of the building or store. However, no sign shall exceed 150 square feet in area. No sign may block the view of vehicles turning, etc.
- 3) Freestanding Signs): For commercial uses, in lieu of a ground sign, one (1) freestanding identification sign not exceeding one (1) square foot in area for each lineal foot of property frontage. However, no such sign shall exceed twenty-five feet (25') in overall height or 150 square feet in area.

C. Architectural Concept

Architectural guidelines are established to create an overall theme for the physical design of Warland/Cypress Business Center. It is intended that architectural and landscape consistency be maintained throughout the Specific Plan Area.

1. Building Form

- Building facades abutting streets shall not have the appearance of excessive massing or shading.
- Buildings clustered around a pedestrian area, such as a courtyard/ plaza shall be designed to minimize excessive shading and maximize light exposure. Facades which are in excess of two stories and oriented onto courtyards/plazas should be stepped back to minimize the appearance of excessive massing.
- The juxtaposition and configuration of building forms shall be given careful attention so as not to create a venturi or wind tunnel effect.
- Orientation, configuration and location of building masses shall emphasize visual corridors.
- Special consideration shall be given to emphasize pedestrian areas architecturally such as entryways, walkways, and courtyards/ plazas (e.g., concrete trellis, low parapet walls, extended roof or patio overhangs).

- Long, uninterrupted exterior walls shall be avoided on all structures if possible. Walls shall incorporate relief features to create an interesting blend with the landscaping, other buildings and the casting of shadows.
- Architectural design shall take full advantage of energy-efficiency concepts, such as natural heating and/or cooling, sun and wind exposure, and solar energy opportunities.
- Solar collectors, if used, shall be oriented away from public view or made as an integral part of the roof structure.
- Particular consideration as to color and material shall be given to the design and treatment of roof because of their potential visual impact.
- Roof flashing, rain gutters and downspouts, vents and other roof protrusions shall be screened from view or finished to match adjacent materials and/or colors.
- The utilization of glass areas shall be encouraged in order to extend interior space to the outside, and to create a visual link with the exterior setting of court or plaza areas.
- Walls and/or fences shall be used to screen utility and maintenance structures/facilities, storage, parking, etc. These surfaces shall match the exterior finish of any structure with which they are in contact.
- Color, materials, textures and finishes for exterior building walls shall be chosen to achieve maximum quality.

2. Exterior Building Materials

The following materials are encouraged to be used as the predominate exterior wall materials throughout Warland/Cypress Business Center:

- a. Concrete, concrete masonry, block, and brick: in a manner which will express the natural color and characteristics printed or an integral color ranging from whites through earth tones.

- b. Stucco: smooth finish in natural grey or a color ranging from whites through earth tones.

The following materials are all encouraged, subject to special design review and approval by the Administrative Committee.

- Metal siding or cladding
- Glass or mirrored glass cladding; and
- Wood in wall forms as an accent material.

The use of other consistent exterior materials is also encouraged, provided that there is consistency in the use and expression of materials or more exterior materials are used they will be subject to special design review and approval by the Design Review committee.

IMPLEMENTATION

SECTION VIII: SPECIFIC PLAN IMPLEMENTATION.

A. Site Plan Review Procedures

The purpose of the Site Plan review process is to provide for public sector review of detailed final plans for all development within the Warland/Cypress Business Center. This process assures that projects will be planned established, and maintained in a manner that will be compatible with surrounding uses. It is further intended to assure compliance with all provisions of this Specific Plan.

No development or construction, other than minor repairs which do not alter the physical or architectural characteristics of a structure shall be undertaken unless a site plan and related documents have been submitted to and approved by the Design Review committee, in accordance with the applicable sections of the Municipal Zoning Code and the provisions of this Specific Plan.

1. Submittal Procedures

The following project data shall be submitted in conjunction within a Site Plan application:

- a. A legal description of the building site proposed for development, including a statement of present and proposed ownership.
- b. Project statistics including, but not limited to: buildings, square footage, parking spaces, coverage, parcel size, and other information as specified by the Planning Director.
- c. Site plan(s) and supporting displays drawn to scale, fully dimensioned, easily readable, and containing the following data:
 1. Title block (applicant's name and data drawn).
 2. Scale and north arrow.
 3. Property lines or building sites, dimensioned.
 4. Existing use of property and site conditions.

5. Location, acreage, and proposed type of use for each building site.
6. The location and floor area size of all existing and proposed buildings, structures and improvements within the building site.
7. Enough information on land areas adjacent to the site to indicate the relationships between the proposed development and existing and proposed adjacent areas.
8. The existing and proposed circulation system including existing and proposed improvements to adjacent reservoir off-street parking areas, service areas, loading areas, major points of access to public rights-of-way (including major points of ingress and egress to the development) and location and treatment of any bus stops. Notations of proposed ownership, public or private, should be included where appropriate. Additionally, traffic studies for all new major developments within the project area may be required, and shall be determined by the Public Works Director and Traffic Engineer.
9. The existing and proposed pedestrian circulation system, including its interrelationships with the vehicular circulation system indicating proposed treatments or points of conflicts.
10. Location and size of all areas to be conveyed, dedicated or reserved for public or semi-public use.
11. The location, height and materials of all fencing and walls.
12. Landscaping and screening areas.
13. Any additional background and supporting information as the Director of Planning deems necessary.

- d. Preliminary landscaping plans, drawn to scale and including the following information:
 - 1) Treatment of all yard and open space areas and the special elements of the site per design guidelines and regulations of this Specific Plan.
 - 2) Location and list of plant materials, by common and botanical names.
 - 3) Sizes of major elements, where applicable.
- e. Architectural elevations of all structures (including walls and signs), including but not limited to the following:
 - 1) All exterior materials;
 - 2) All exterior colors; and
 - 3) Building height and mass.
- f. A preliminary grading plan prepared by a civil engineer.
- g. Any additional information as required by the Director of Planning or the Design Review committee, and necessary to evaluate the character and impact of the proposed development.
- h. When a project requiring approval of a Site Plan is to be developed in phases, a conceptual Site Plan addressing items a through i, above may be submitted and processed in accordance with the procedures contained in this Section. A conceptual Site Plan may contain both specific and general data for the project. Building and grading permits, however, shall only be cleared for issuance by the Design Review committee on those uses within the conceptual Site Plan which have complied with all requirements this section.

2. Site Plan Review Procedures

The Site Plan Review process involves two steps: the pre-application conference, and Site Plan submission for staff review. These are described further below.

a. Preapplication Conference

This is intended to provide the Planning Department with knowledge about the developer's intent and to provide the developer an understanding of what is required to develop under the Warland/ Cypress Business Center Specific Plan.

There are no particular requirements for submission of materials and plans by a developer at a preapplication conference. However, the more information (e.g., sketch plans, land uses, site information, adjacent land uses, proposed density), the developer has, the more response he may get from the conference. Staff shall explain all relevant ordinance provisions and Specific Plan regulations and inform the developer of all the necessary requirements he must meet; he should be given forms and application materials, guidelines, checklists, and copies of relevant ordinances and Specific Plan regulations pertaining to his particular proposal.

The Planning Director may choose to form a preapplication conference team which routinely conducts this function. This team may include several members of the planning staff, especially those with site design expertise, and other from related departments such as engineering, public works, traffic, and police and fire.

b. Site Plan Submission for Staff Review.

All Site Plan and Design Review requirements contained in Section 18 of the Zoning Code shall apply, except that in lieu of conformity with the zoning ordinance, the proposed development project must comply with the intent, purpose and specific development standards contained in this Specific Plan.

3. Limitations and Revisions

Site Plan approval shall be valid for a period of one (1) year. If a building permit for construction of a project does not commence within that period and proceed with due diligence thereafter, the approval of the Site Plan shall terminate, and an additional review and approval will be required.

Revisions that are minor in nature or reasonable extensions other than those applied as a condition of approval by the Design Review committee, shall be reviewed and approved administratively by the Planning Director.

B. Subdivision Process

The City of Cypress Subdivision Code shall regulate and control all divisions of land within the Warland/Cypress Business Center.

C. Non-Conforming Uses, Building and Structures

Non-conforming uses, building and structures shall be provided for, as specified in Section 16 of the Zoning Code.

D. Minor Development Standards, Adjustments and Specific Plan Amendments

1. Minor Development Standards Adjustments

- a. The purpose of a Minor Specific Plan Development Standard Adjustment procedure is to provide a simplified means of considering minor deviations from certain development standards set forth in the Specific Plan which are not detrimental to the public health, safety or welfare. Any person, firm, corporation or other entity may apply in writing to the Design Review committee for a minor development standard determination in the provisions contained in this Specific Plan. Applications for minor adjustments shall be limited to any of the following:
 - 1) A reduction in lot, yard and building area requirements by not more than ten percent (10%) of that otherwise specified in this Specific Plan.

- 2) Increase the total building floor area maximum within the Specific Plan area by more than ten percent (10%).
- 3) A reduction in parking requirements by not more than ten percent (10%).
- 4) A minor modification to Architectural or Landscape Architectural Design Guidelines contained in Section VII.

b. The decision of the Design Review committee may be appealed to the City Council in accordance with Section 20.84 of the Municipal Code.

2. Amendment Procedures

The procedures outlined in California Government Code Section 65500, are required to be followed when adoption of an amendment to a Specific Plan is desired.

E. Enforcement

Enforcement of these provisions shall be as stated below:

1. The Planning Director shall have the duty to enforce the provisions of this Specific Plan.
2. Any use of a building or structure hereafter erected, built, maintained or used contrary to provisions of the Specific Plan, shall constitute a public nuisance.
3. Any person violating any provisions of this Specific Plan is guilty of a misdemeanor.
4. The Planning Director shall have the duty to interpret the provisions of this Specific Plan. All such interpretations shall be reduced to written form and be permanently maintained. Any person aggrieved by such an interpretation may request that such interpretation be reviewed by the City Council.
5. Unless otherwise, specified, all development within the Warland/ Cypress Business Center shall comply with the City of Cypress Municipal Code. Terms used herein shall have the same meaning as defined in the City of Cypress Municipal Code unless otherwise defined herein.

F. Relationship to the General Plan

The Warland/Cypress Specific Plan implements each of the elements of the City of Cypress General Plan. As such, the Specific Plan is supportive of and consistent with the existing goals and policies of the General Plan. The following presents a discussion of the relationship of this Specific Plan to each of the General Plan Elements.

1. Land Use Element

The Land Use Element (LUE) has established major land use policies for the purpose of guiding the land uses within the City of Cypress. These policies include orderly growth and development, sufficient area for each land use, development of open space areas, encouragement of diversified industries and the provisions of adequate transportation facilities.

The Specific Plan project is consistent with the Land Use Element. The LUE designates the site for Planned Industrial development. This will broaden the City's economic base through increased revenues, retail sales and personal income.

2. Circulation and Scenic Highways Element

The major goals set forth in the Circulation and Scenic Highways Elements of the General Plan specify that transportation within the City must be provided in a safe, efficient manner. Specifically, a reasonable level of service for streets and adequate public transportation facilities are required.

The Specific Plan project is consistent with the Circulation Element and through implementation it provides for the safe and efficient movement of traffic through the proper placement of access/ egress points and required traffic improvements (e.g., travel lanes, turning pockets and traffic signals). Additional, improvements will be made to the street surrounding the project in order to facilitate traffic movement and provide attractive streetscapes.

3. Housing Element

Housing Element goals and policies have not specifically been addressed since the Warland/Cypress Business Center does not propose any housing onsite. By implementing the Specific Plan, however, additional jobs can be realized within the City; thereby adding to the balance between dwelling units and employment opportunities. The Land Use Element designates the project site for Planned Industrial Use. The Land Use Element encourages new, diversified industries to locate in appropriately planned areas of the city, and encourages the enhancement of these areas through the provision of open space, tree planting and landscaping.

4. Open Space, Conservation, Scenic Highways Elements

The goals of the Open Space and Conservation Element recognizes the need for urban dwellers and employees to have adequate open space and recreational areas within the community. The Warland/Cypress Business Center Specific Plan implements these goals through open space provisions consisting of three forms, landscaped setbacks, trails and flood control easements.

The Scenic Highways Element indicates that the scenic resources of the city be presented and enhanced. The Specific Plan areas will comply by providing landscaping and tree planting.

5. Noise Element

The major goals of the Cypress Noise Element include the development of strategies for the abatement of excessive noise exposure through regulatory mechanisms, the protection of existing regions in the City from excessive noise exposure, and to reduce the impact of noise from all sources.

The Warland/Cypress Specific Plan as proposed is not considered a "noise sensitive" land use. Major sources of noise to the project include traffic on surrounding roadways and the Los Alamitos Naval Air Station. According to the noise element, a portion of the project is located within the 65 CNEL. Acoustical design features which satisfy the interior noise standards of the City will be incorporated into the final building plans for the project.

6. Seismic Safety Element

Public safety policies established in the Seismic Safety Element of the General Plan address relevant safety measures with regard to potential earthquake hazards, geologic hazard/slope stability, and emergency preparedness.

The Specific Plan incorporates measures necessary for conformance with the Seismic Safety Element. Future buildings will be incorporated into design and construction measures required by the City to minimize potential seismic hazards. The potential for other geologic and/or slope stability hazards is considered remote, however, full geotechnical investigations will be conducted prior to issuance of any building permits.

7. Safety Element

The primary objective of the Safety Element is to require that hazard issues, such as geologic hazards, flood hazards, fire, crime and hazardous and toxic materials be accounted for in city planning programs.

Adequate police, fire and flood control protection will be provided to the Warland/Cypress Business Center. As presented under the Seismic Safety Element discussion, measures will be taken to minimize impacts to the study area as a result of potential earthquakes.

LEGAL DESCRIPTIONS

SECTION IX: LEGAL DESCRIPTIONS

LEGAL DESCRIPTION
PARCEL AT SOUTHWEST CORNER OF
KATELLA AVENUE AND KNOTT AVENUE

PARCEL 2, IN THE CITY OF CYPRESS, COUNTY OF ORANGE, STATE OF CALIFORNIA, AS SHOWN ON THE MAP FILED IN BOOK 108, PAGE 10 OF PARCEL MAPS, RECORDS OF ORANGE COUNTY, CALIFORNIA.

LEGAL DESCRIPTION
PARCEL AT THE SOUTHWEST CORNER OF KATELLA AVENUE
AND VALLEY VIEW STREET

THAT PORTION OF THE NORTHEAST QUARTER OF SECTION 28, TOWNSHIP 4 SOUTH, RANGE 11 WEST IN THE RANCHO LOS ALAMITOS, IN THE CITY OF CYPRESS, COUNTY OF ORANGE, STATE OF CALIFORNIA, AS SHOWN ON MAP NO. 2 ATTACHED TO THE FINAL DECREE OF PARTITION OF SAID RANCHO, A CERTIFIED COPY OF WHICH WAS RECORDED FEBRUARY 2, 1891, IN BOOK 14, PAGE 31 OF DEEDS, RECORDS OF SAID COUNTY, DESCRIBED AS FOLLOWS:

BEGINNING AT THE NORTHEAST CORNER OF SAID SECTION 28, (SAID CORNER BEING THE CENTERLINE INTERSECTION OF KATELLA AVENUE AND VALLEY VIEW STREET) AS SHOWN ON THE MAP FILED IN BOOK 96, PAGE 38 OF RECORDS OF SURVEY, RECORDS OF SAID COUNTY; THENCE ALONG THE EAST LINE OF SAID NORTHEAST QUARTER (SAID LINE ALSO BEING THE CENTERLINE OF VALLEY VIEW STREET), S 0° 20' 03" W, 2640.09 FEET TO THE SOUTHEAST CORNER OF SAID NORTHEAST QUARTER; (SAID CORNER ALSO BEING THE CENTERLINE INTERSECTION OF VALLEY VIEW STREET AND ORANGEWOOD AVENUE); THENCE ALONG THE SOUTH LINE OF SAID NORTHEAST QUARTER (SAID LINE ALSO BEING THE CENTERLINE OF ORANGEWOOD AVENUE) N 89° 40' 30" W, 1320.13 TO THE SOUTHWEST CORNER OF THE SOUTHEAST QUARTER OF SAID NORTHEAST QUARTER; THENCE ALONG THE WEST LINE OF THE EAST HALF OF SAID NORTHEAST QUARTER, N 0° 20' 58" E 1815.25 FEET TO THE NORTH LINE OF THE SOUTHERLY 495.00 FEET OF THE NORTHWEST QUARTER OF SAID NORTHEAST QUARTER; THENCE ALONG SAID NORTH LINE N 89° 39' 56" W, 1319.64 FEET TO THE WEST LINE OF SAID NORTHEAST QUARTER; THENCE ALONG SAID WEST LINE N 0° 21' 54" E 825.47 FEET TO THE NORTHWEST CORNER OF SAID NORTHEAST QUARTER (SAID CORNER ALSO BEING THE INTERSECTION OF SAID WEST LINE WITH THE CENTERLINE OF KATELLA AVENUE); THENCE ALONG THE NORTH LINE OF SAID NORTHEAST QUARTER (SAID LINE ALSO BEING THE CENTERLINE OF KATELLA AVENUE), S 89° 39' 23" E, 2638.84 FEET TO THE NORTHEAST CORNER OF SAID NORTHEAST QUARTER AND THE POINT OF BEGINNING.

LEGAL DESCRIPTION
PARCEL AT NORTHEAST CORNER OF
VALLEY VIEW AND KATELLA

PARCEL 1

PARCEL 1 OF PARCEL MAP NO. 79-1160, IN THE CITY OF CYPRESS, COUNTY OF ORANGE, STATE OF CALIFORNIA, AS SHOWN ON THE MAP FILED IN BOOK 121, PAGES 9 AND 10 OF PARCEL MAPS, RECORDS OF SAID COUNTY.

PARCEL 2

PARCELS 1 AND 2 OF PARCEL MAP NO. 79-1147, IN THE CITY OF CYPRESS, COUNTY OF ORANGE, STATE OF CALIFORNIA, AS SHOWN ON THE MAP FILED IN BOOK 142, PAGES 45 AND 46 OF PARCEL MAPS, RECORDS OF SAID COUNTY.

PARCEL 3

PARCELS 4 THROUGH 9, INCLUSIVE, AND PARCELS 14 AND 15, OF PARCEL MAP RST 9084, IN THE CITY OF CYPRESS, COUNTY OF ORANGE, STATE OF CALIFORNIA, AS SHOWN ON THE MAP FILED IN BOOK 124, PAGES 5 AND 6 OF PARCEL MAPS; RECORDS OF SAID COUNTY.

PARCEL 4

PARCELS 1 AND 2 OF PARCEL MAP NO. 80-1145, IN THE CITY OF CYPRESS, COUNTY OF ORANGE, STATE OF CALIFORNIA, AS SHOWN ON THE MAP FILED IN BOOK 153, PAGE 18 OF PARCEL MAPS, RECORDS OF SAID COUNTY.

PARCEL 5

THAT PORTION OF SECTION 22, TOWNSHIP 4 SOUTH, RANGE 11 WEST IN THE RANCHO LOS ALAMITOS AS SHOWN ON MAP NO. 2 ATTACHED TO THE FINAL DECREE OF PARTITION ENTERED IN THE SUPERIOR COURT OF LOS ANGELES COUNTY, CASE NO. 13527, AND RECORDED FEBRUARY 2, 1891, IN BOOK 14, PAGE 31, OF DEEDS, RECORDS OF ORANGE COUNTY, CALIFORNIA, AND A PORTION OF SECTION 22, TOWNSHIP 4 SOUTH, RANGE 11 WEST, IN THE RANCHO LOS COYOTES, AS SHOWN ON THE MAP FILED IN BOOK 51, PAGE 11, OF MISCELLANEOUS MAPS, RECORDS OF SAID COUNTY, DESCRIBED AS FOLLOWS:

BEGINNING AT THE INTERSECTION OF THE WEST LINE OF HOLDER STREET, 60 FEET WIDE WITH THE SOUTHERLY LINE OF TRACT NO. 4399, AS SHOWN ON THE MAP FILED IN BOOK 175, PAGES 46 AND 47 OF MISCELLANEOUS MAPS, RECORDS OF SAID COUNTY; THENCE ALONG SAID SOUTHERLY LINE, S 88° 50' 43" W, 654.54 FEET TO THE LINE DIVIDING RANCHO LOS COYOTES AND RANCHO LOS ALAMITOS AS SHOWN ON SAID TRACT; THENCE ALONG SAID LINE N 70° 44' 48" W, 2020.10 FEET TO A POINT ON THE EASTERLY LINE OF VALLEY VIEW

STREET, 60 FEET WIDE, SAID POINT BEING ON A CURVE CONCAVE WESTERLY; THENCE ALONG SAID EASTERLY LINE OF VALLEY VIEW STREET THE FOLLOWING COURSES;

1. SOUTHERLY ALONG SAID CURVE HAVING A RADIUS OF 1260 FEET, A RADIAL LINE TO WHICH BEARS S 89° 11' 33" E, THROUGH A CENTRAL ANGLE OF 6° 15' 45", AN ARC DISTANCE OF 137.72 FEET;
2. S 7° 04' 12" W, 200.00 FEET TO THE BEGINNING OF A TANGENT CURVE CONCAVE EASTERLY;
3. SOUTHERLY ALONG SAID CURVE HAVING A RADIUS OF 1140.00 FEET; THROUGH A CENTRAL ANGLE OF 7° 03' 58", AN ARC DISTANCE OF 140.59 FEET;
4. S 0° 00' 14" W, 445.99 FEET TO THE NORTHERLY LINE OF THE SOUTHERN PACIFIC RAILROAD RIGHT-OF-WAY, 60 FEET WIDE, AS SHOWN ON PARCEL MAP NO. 79-1147, FILED IN BOOK 142, PAGES 45 AND 46 OF PARCEL MAPS, RECORDS OF SAID COUNTY;

THENCE ALONG SAID NORTHERLY LINE THE FOLLOWING COURSES:

1. S 89° 59' 33" E, 2135.14 FEET TO THE BEGINNING OF A TANGENT CURVE CONCAVE SOUTHERLY;
2. EASTERLY ALONG SAID CURVE HAVING A RADIUS OF 22948.32 FEET, THROUGH A CENTRAL ANGLE OF 0° 04' 30", AN ARC DISTANCE OF 30.04 FEET TO THE BEGINNING OF A COMPOUND CURVE CONCAVE SOUTHERLY;

3. EASTERLY ALONG SAID CURVE HAVING A RADIUS OF 11489.17 FEET, A RADIAL LINE TO WHICH BEARS N 0° 04' 57" E, THROUGH A CENTRAL ANGLE OF 0° 09' 00", AN ARC DISTANCE OF 30.08 FEET TO THE BEGINNING OF A COMPOUND CURVE CONCAVE SOUTHERLY;
4. EASTERLY ALONG SAID CURVE HAVING A RADIUS OF 7669.45 FEET; A RADIAL LINE TO WHICH BEARS N 0° 13' 57" E, THROUGH A CENTRAL ANGLE OF 0° 13' 30", AN ARC DISTANCE OF 30.12 FEET TO THE BEGINNING OF A COMPOUND CURVE CONCAVE SOUTHERLY;
5. EASTERLY ALONG SAID CURVE HAVING A RADIUS OF 5759.60 FEET, A RADIAL LINE TO WHICH BEARS N 0° 27' 27" E, THROUGH A CENTRAL ANGLE OF 3° 41' 28", AN ARC DISTANCE OF 371.05 FEET TO THE WESTERLY LINE OF HOLDER STREET, 84 FEET WIDE;

THENCE ALONG SAID WESTERLY LINE, N 0° 45' 28" W, 45.90 FEET TO THE LINE DIVIDING THE RANCHO LOS COYOTES FROM THE RANCHO LOS ALAMITOS; THENCE ALONG SAID LINE, S 70° 44' 48" E, 12.77 FEET TO THE WESTERLY LINE OF HOLDER STREET, 60 FEET WIDE; THENCE ALONG SAID WESTERLY LINE, N 0° 45' 28" W, 242.91 FEET TO THE POINT OF BEGINNING.