

**CYPRESS
VIEW
LIMITED
SPECIFIC
PLAN**

**CITY OF CYPRESS
AND
CYPRESS VIEW LIMITED**

November 1985

CYPRESS
VIEW
LIMITED
SPECIFIC PLAN

APPROVED
CYPRESS
COMMUNITY DEVELOPMENT
DEPARTMENT

DATE ~~RECEIVED~~ NOV 25 1985

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CITY OF CYPRESS
AND
CYPRESS VIEW
LIMITED

BCL

NOVEMBER 1985



SPECIFIC PLAN
FOR THE 46.91 ACRE
CYPRESS VIEW LIMITED
PROPERTY

Prepared for

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November 1985

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1.0 INTRODUCTION

1.1 Purpose and Intent

This Specific Plan provides the City of Cypress with a comprehensive set of plans, regulations, conditions and programs for guiding the orderly development of the Cypress View Limited property. The Specific Plan implements each applicable Element of the City of Cypress General Plan. It assures development of the project area as a coordinated project involving a mixture of light industrial/research and development, offices and commercial uses.

The Cypress View Limited Specific Plan has been prepared in accordance with the requirements of California Government Code Sections 65450 through 65507, and addresses all issues and topics specified in that code.

After adoption, the Specific Plan will have an effect similar to the local Zoning Code. Tentative and final tract maps must be consistent with applicable Specific Plan provisions. Future development proposals on the Cypress Valley View Limited site cannot be approved unless the Cypress City Council determines that the proposed development is consistent with the Cypress General Plan and this Specific Plan, or approves an amendment to these plans consistent with the proposed development.

An important function of this Specific Plan is to reduce the need for detailed planning and environmental review procedures related to subsequent development of the project area. This Specific Plan and the accompanying Environmental Impact Report (EIR) provide the necessary regulations and environmental documentation so that future development proposals consistent with the provisions contained in this Specific Plan may proceed with Site Plans, Tentative Tract Maps and other approvals without a requirement for new environmental documentation.

1.2 Specific Plan Objectives

The City has identified a number of planning objectives to be implemented in the Cypress View Limited Specific Plan. These include:

- Implement the City General Plan with respect to improving the physical characteristics of the area.
- Allow for a well designed business park; one which can respond to changing future market conditions.
- Provide for a physical mix of land uses, including commercial, within the project area.
- Establish a development program through which a quality business environment may be realized, providing a range of employment opportunities.

- Realize land uses and circulation patterns which are compatible with the surrounding area and which take advantage of site characteristics.
- Provide design standards to assure a well designed, aesthetically pleasing environment as a result of future development within the Cypress Valley View Limited Project.

1.3 Project Setting

1.3.1 Location

The Cypress View Limited Project is located in northwest Orange County (see Figure 1, Regional Map). More specifically, the 46.91-acre project site lies within the southern portion of the City of Cypress southwest of the intersection of Valley View Street and Cerritos Avenue as shown in Figure 2, Vicinity Map.

The Cypress View Limited project site is bounded on the north by Cerritos Avenue, on the south by the Pacific Electric Railroad track, on the east by Valley View Street and the Bolsa Chica Flood Control Channel, and on the west by an additional industrial park complex as shown in Figure 3, Project Site Map.

1.3.2

Existing Land Uses

The project site is presently occupied by an agricultural land use as shown in Figure 4, Existing Land Use Map. The majority of the site is cultivated with strawberries. In addition to the cultivated areas, the site has dirt access roads, an equipment storage area and a strawberry sales stand.

1.3.3 Surrounding Land Uses

The Cypress View Limited project is on a 46.91-acre site situated within the greater Cypress Industrial Area, a 542-acre area planned by the City for industrial and commercial development. Areas immediately adjacent to the project site are largely developed or committed for industrial and commercial development (see Figure 5, Related Projects Map). Adjacent business park sites include the McDonnell Douglas Land Company site to the south, the Koll Center site to the west and the Warland Land Company site to the east.

Specific off-site land uses are shown in Figure 4, Existing Land Use Map. To the north of the project site is a single-family residential neighborhood. Two neighborhood shopping centers are located to the northeast. Commercial developments of various types occur on all four corners of the Valley View Street/Cerritos Avenue intersection. A service station and two neighborhood shopping centers are located on the northwest corner. A mini-market and associated neighborhood shopping center are located on the northeast corner. Another service station with a rental hauling equipment yard is located on the southeast corner. The southwest corner, which is immediately adjacent to, but not a part of the project site has a small retail building on it, including a cocktail lounge and a delicatessen. To the east of the site is a light industrial building under construction with another strawberry patch located just south of

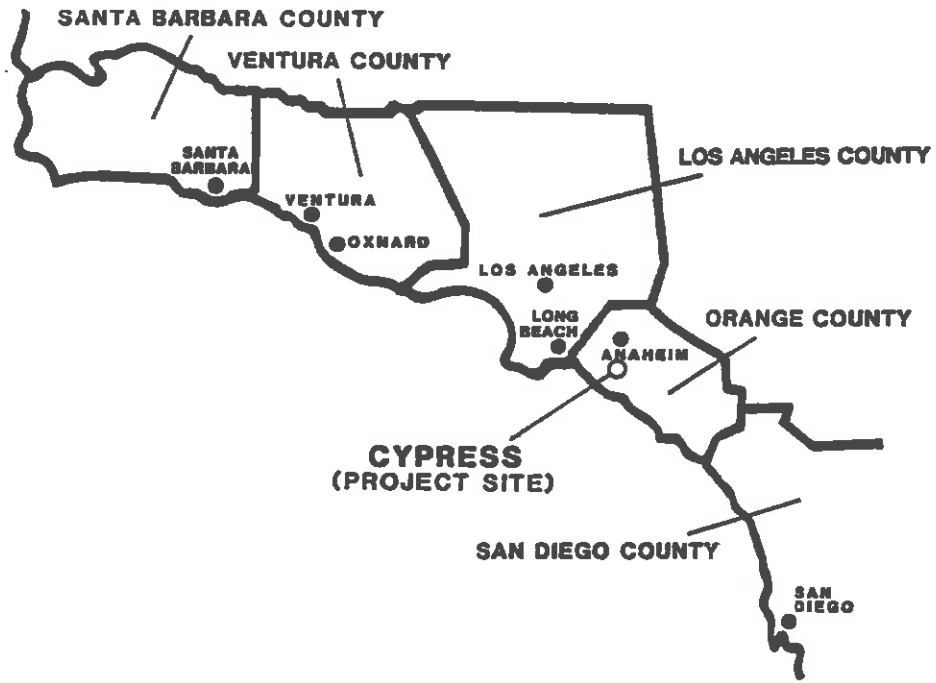
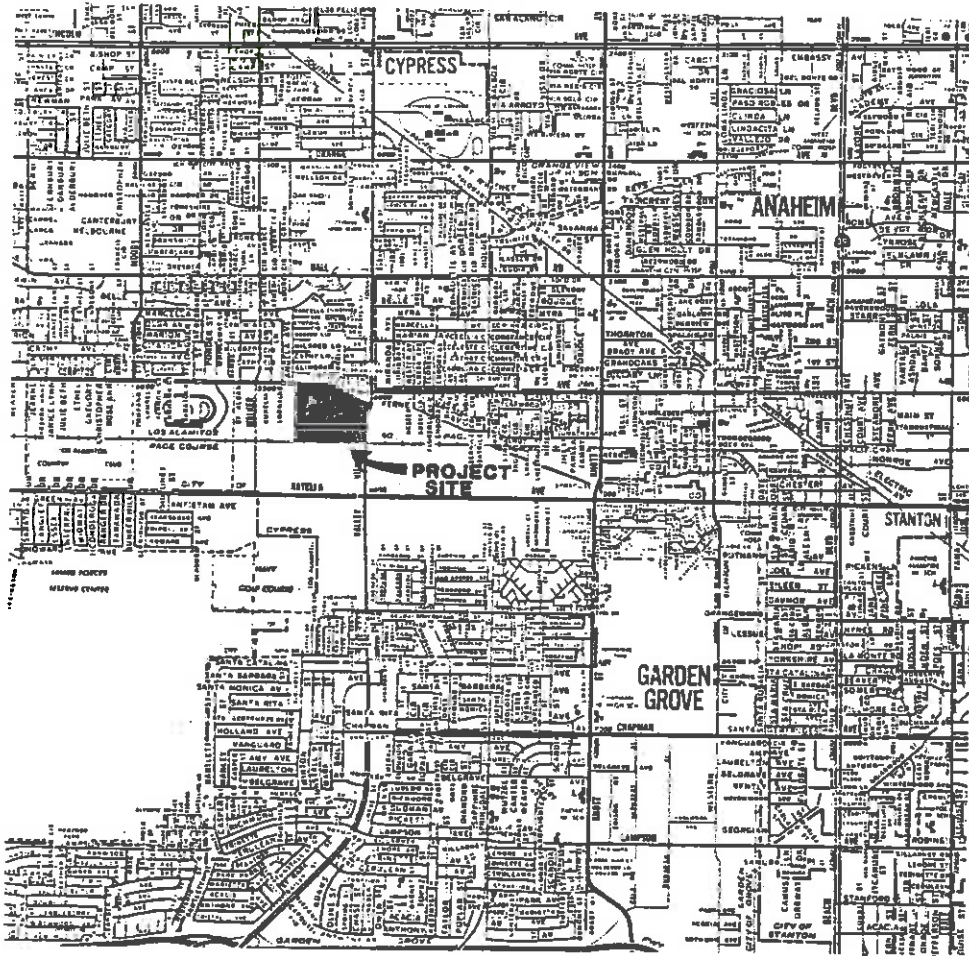


FIGURE 1
REGIONAL MAP
CYPRESS VIEW LIMITED SPECIFIC PLAN



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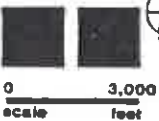


FIGURE 2
VICINITY MAP
CYPRESS VIEW LIMITED SPECIFIC PLAN

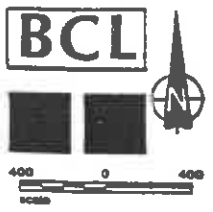
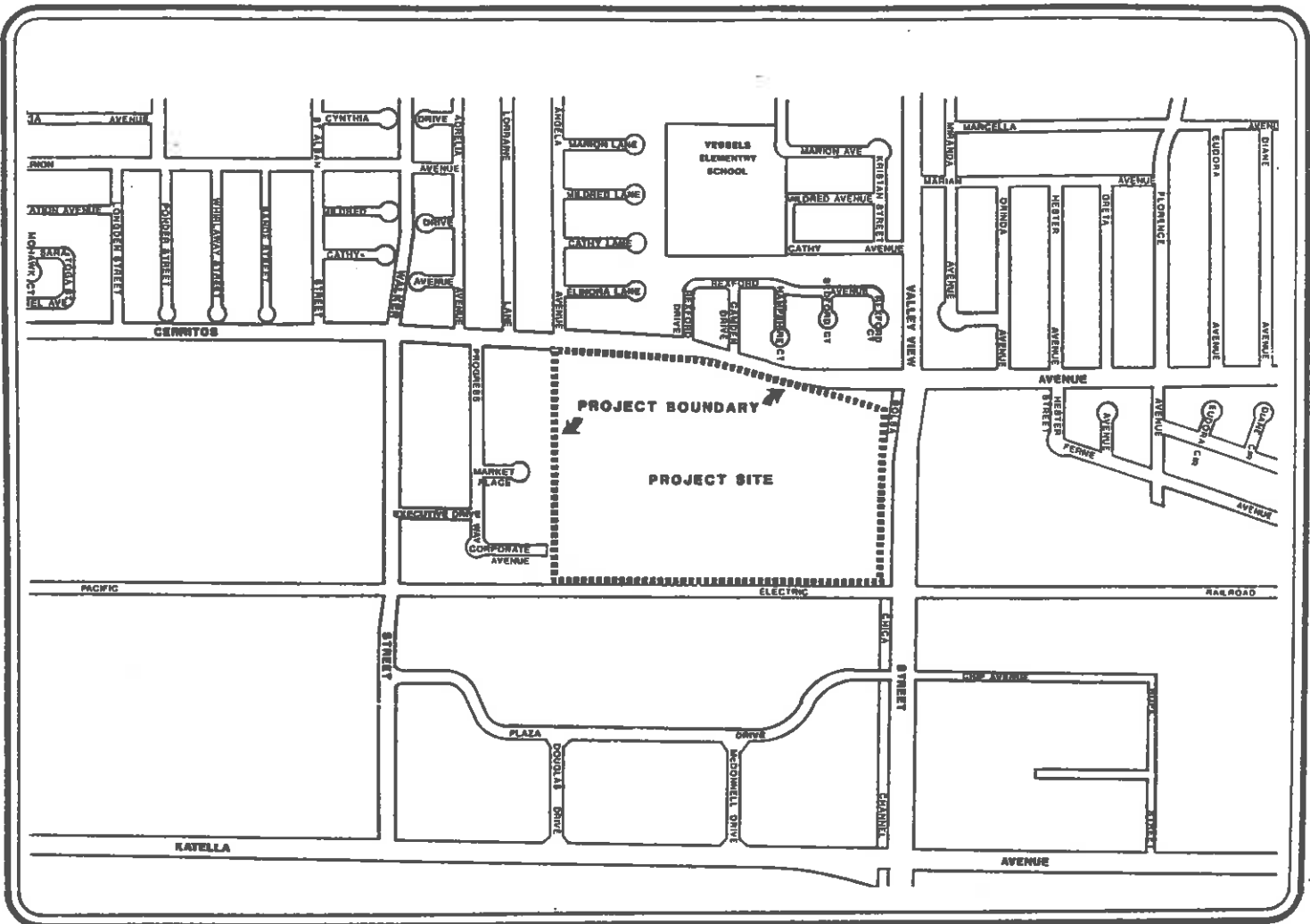


FIGURE 3
PROJECT SITE MAP.
CYPRESS VIEW LIMITED SPECIFIC PLAN

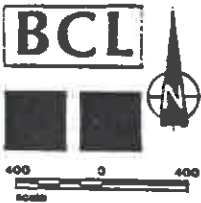
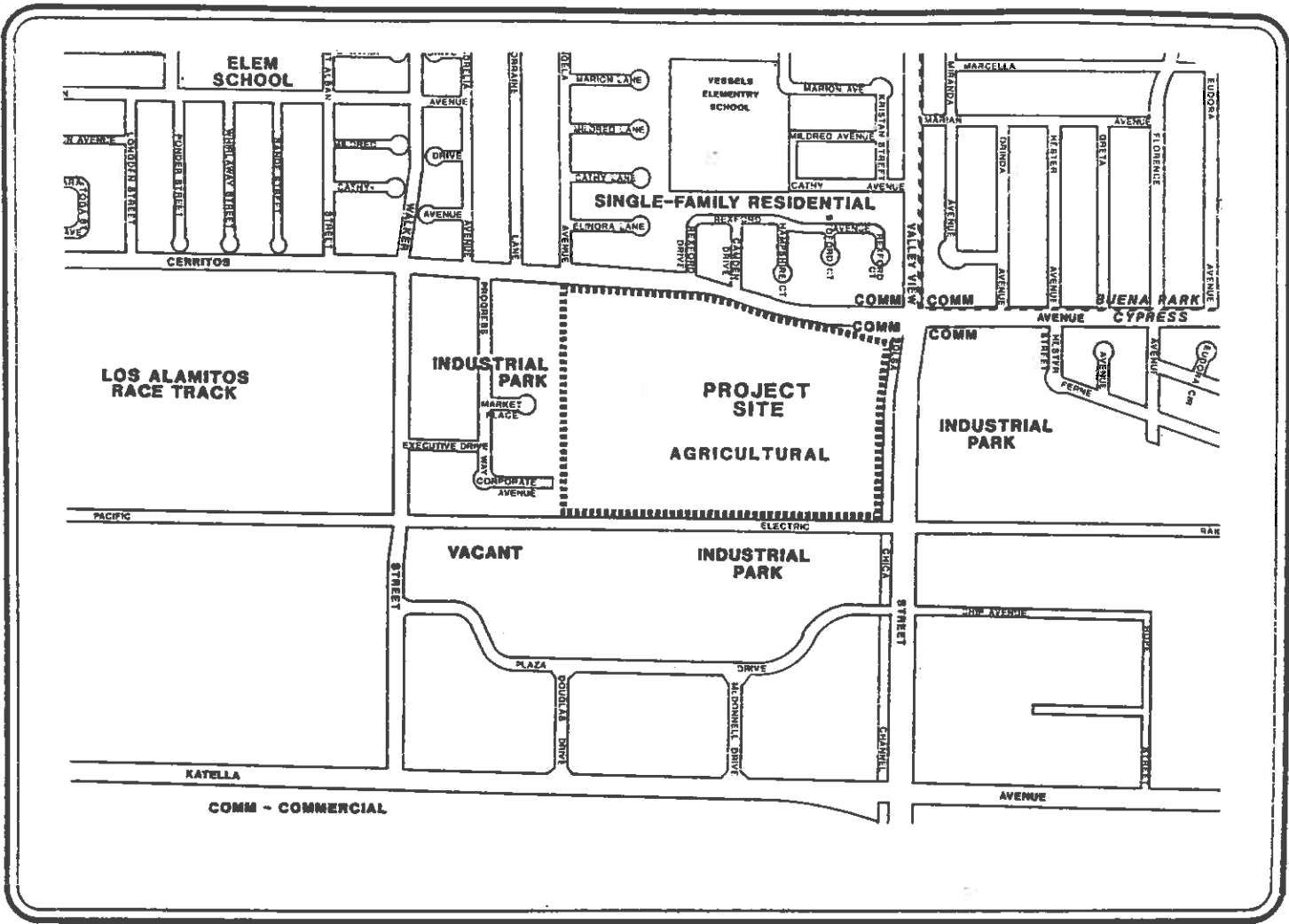


FIGURE 4
 EXISTING LAND USE MAP
 CYPRESS VIEW LIMITED SPECIFIC PLAN

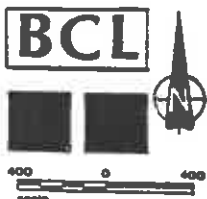
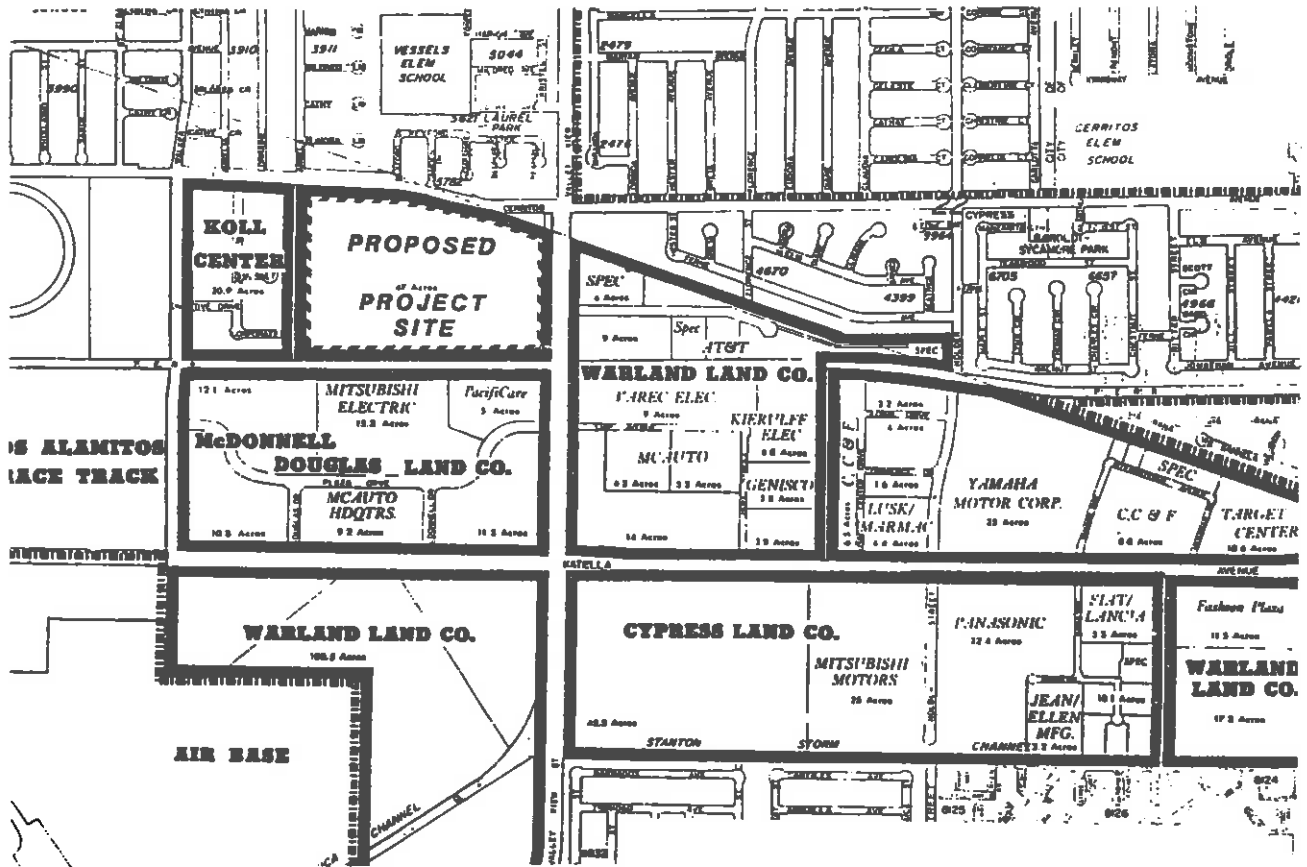


FIGURE 5
 RELATED PROJECTS MAP
 CYPRESS VIEW LIMITED SPECIFIC PLAN

it. The eastern site boundary is adjacent to the 60-foot wide right-of-way for the Bolsa Chica Flood Control Channel. A bike path is also included in this right-of-way. Some large light industrial buildings comprise the adjacent properties to the south and southeast. An industrial park is situated immediately to the west of the project site. The project site is approximately 3,500 feet northeast of the Los Alamitos Armed Forces Reserve Center air base and is beneath the aircraft flight path.

1.3.4 Summary of Site Conditions

1.3.4.1 Earth Resources

The Cypress View Limited project site is relatively level in topography and slopes generally from the northeast to the southwest. A benchmark at the intersection of Cerritos Avenue and Valley View Street marks an elevation of 39 feet above mean sea level (MSL). On Valley View Street at its intersection with Katella Avenue, the elevation is listed at 38 feet above MSL. Based on this data, the project site has a slope of less than a tenth of one percent.

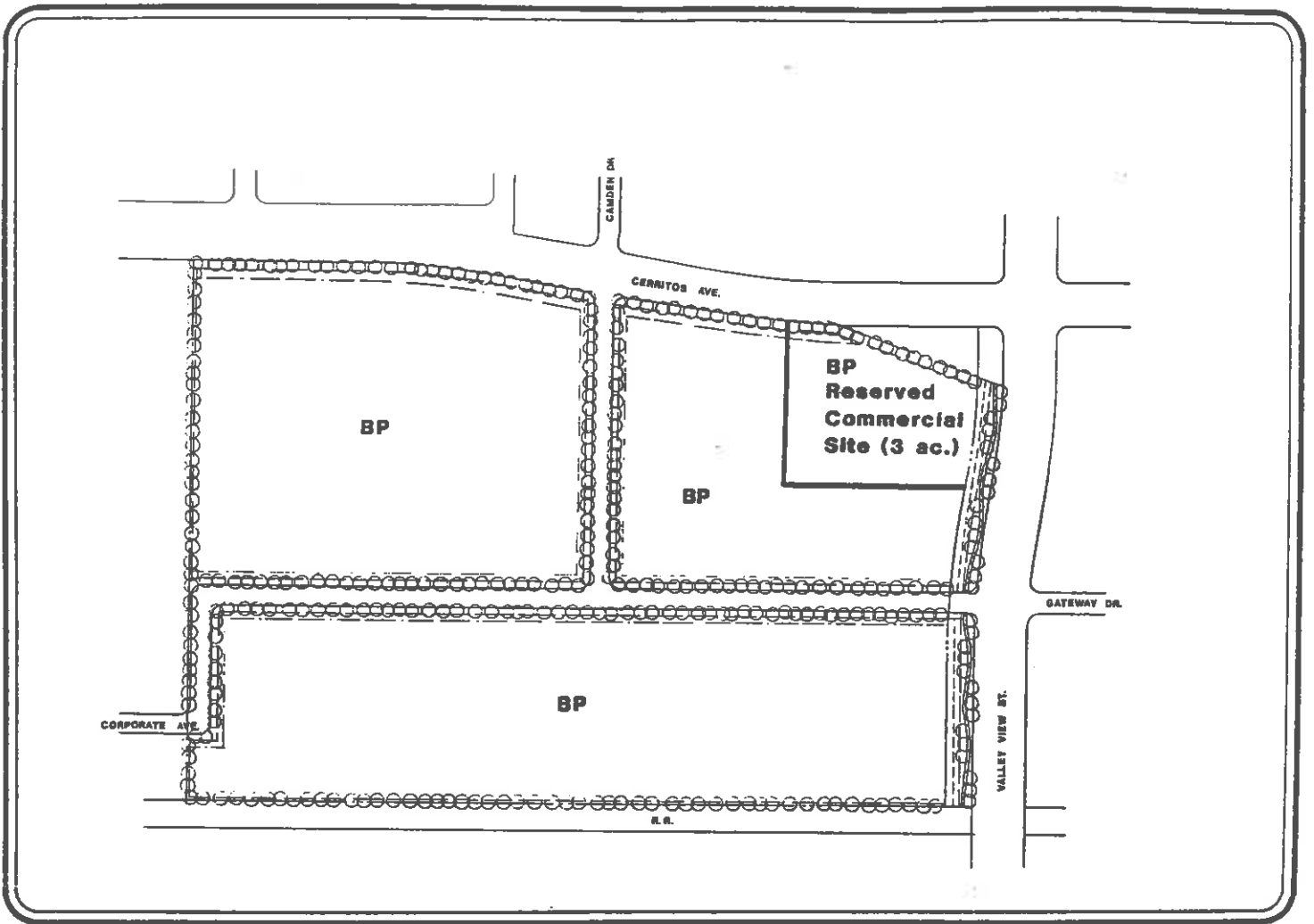
While no known fault traces have been identified within the project area, it is approximately five (5) miles from the Newport-Inglewood Fault, a northwest-southeast trending fault. There is a potential for liquefaction at the project site during a seismic event due to the fact groundwater is found at depths of 7 to 11 feet, combined with the low relative density of the soils in the area. Soils in the project area are classified as alluvial fill material and a considerable portion are Class I agricultural soils.

1.3.4.2 Drainage/Flood Control

The site is located within the floodplain of the Santa Ana River as determined by the Standard Project Flood (greater than 100-year). The Bolsa Chica Channel runs south along the eastern border of the site. The eastern portion of the project site drains directly to this channel. The channel is covered north of Cerritos Avenue and is open south of Cerritos Avenue adjacent to the site. South of the site, the channel is covered again as part of a business park development in that area. As the channel continues south, it is joined by the Stanton Stormwater Channel and continues south as an open channel. Approximately 1,200 feet of the western portion of the site drains to the existing 60-inch storm drain in Progress Way, which flows to the drain in Katella Avenue via the Walker Street drain and ultimately flows to the San Gabriel River.

1.3.4.3 Water/Sewer Service

Existing water mains are located in Valley View Street, Cerritos Avenue and Corporate Drive. Sewer service in the area is provided by the City of Cypress. The City is responsible for construction, operation and maintenance of facilities. There are no existing sewer facilities on-site. However, the landowner of the McDonnell Douglas property south of the subject site is obligated to provide a main sewer connection across the south property to serve the Cypress Valley View Limited property. The Orange County Sanitation District (OCSD) also maintains trunk lines in Walker Street and Katella Avenue. Collected wastewater will be transported from the site to the OCSD Huntington Beach treatment plant. Existing facilities are described further in Section 5.0 of this Specific Plan.



SOURCE: EBERTING INTERNATIONAL

LEGEND

BP - BUSINESS PARK

BCL



1" = 400'



FIGURE 6

LAND USE AND CIRCULATION MASTER PLAN
CYPRESS VIEW LIMITED SPECIFIC PLAN

2.0 PROJECT DESCRIPTION

2.1 Development Concept

The Cypress View Limited project is planned as a light industrial/office complex, with additional commercial development, and will be a major component of the City of Cypress Business Park as set forth in the City's General Plan. Implementing the General Plan, this Cypress Valley View Limited Specific Plan represents a major opportunity for sustained economic growth within the City of Cypress.

The Cypress View Limited project Land Use and Circulation Master Plan (see Figure 6) has been designed to reflect four basic considerations. Each is described on the following pages:

- Provide for multiple uses;
- Integrate the project and its components within the surrounding areas;
- Take advantage of physical development opportunities and constraints; and
- Provide sufficient flexibility for potential future market changes.

2.1.1 Provide for Multiple Uses

In establishing the parameters for future development, it is essential that sufficient flexibility be provided for as wide a range of uses as possible, while maintaining the design intent of a business park. This can be accomplished through the use of planning areas which emphasize specific uses, and/or encouraging multiple use developments within specific planning areas, in accordance with requirements provided for in this Specific Plan.

Permitted uses within the project site include offices and light industrial uses such as research and development; assembly, warehousing, and employee support uses such as cafeterias. It is also possible that the future development proposals will include one or more commercial developments complementing the light industrial/office uses (i.e., restaurants, retail shops and/or a hotel catering to business patrons). In order to encourage such uses approximately three (3) acres in the northeast corner of the site have been reserved for future commercial development, subject to the conditions in Section 3.2.4.

2.1.2 Integrate the Project with Surrounding Areas

The viability of the project site is directly related to its ability to be functionally integrated with surrounding areas. Much of the support services and related uses which are necessary to successfully implement the proposed project are or will be found in these areas. Therefore the project provides for automotive, pedestrian and bicycle circulation between business park developments. Equally important, the mix of different, non-competing and complementary uses within the project site and surrounding areas must be achieved so that a dynamic balance may be realized.

In order to encourage such uses, a minimum of three (3) acres in the northeast corner of the site have been reserved for future commercial development, subject to the conditions in Section 3.2.4.

The Specific Plan has also been designed to respond to the following concerns with respect to land use compatibility and infrastructure continuity:

- Development should be compatible with existing residential land uses to the north across Cerritos Avenue.
- The project circulation system should be compatible with the surrounding circulation system and should minimize adverse traffic and circulation impacts both on-site and off-site.
- The project design, amenities and infrastructure should provide for continuity between the various business park developments.

Section 7.0, Design Guidelines, of this Specific Plan provides detailed measures to be taken to assure compatibility of uses, and protection of sensitive areas.

2.1.3 Take Advantage of Physical Development Opportunities and Constraints

The project site is essentially level, which permits considerable flexibility in the location of land uses and site design for future developments. The very gently sloping nature of the project site provides ample gradient for technical considerations regarding drainage, infrastructure, and site improvements. The presence of the Bolsa Chica flood control channel and traffic congestion on Valley View Street are examples of development constraints which were considered in preparing this Specific Plan.

2.1.4 Provide Sufficient Flexibility for Future Anticipated Market Changes

Given what is expected to be a moderately long build-out period (i.e., 5 to 10 years), it is essential that the Cypress View Limited Specific Plan be designed with sufficient flexibility to permit adjustments to future market conditions while still achieving the Specific Plan objectives and design concept.

The Business Park land use category described herein is established with as wide a range and mix of land uses as possible, while still retaining the overall project design concept. Further, a mix of land uses including the designation of commercial is provided which will permit an increased development absorption potential, and still result in an overall balanced or "positive" fiscal impact to the City general fund.

The development concept for the Designated Specific Plan area is depicted and regulated through a series of plan components identified below and specified in the pages which follow:

- Land Use Plan
- Circulation Plan
- Drainage Concept Plan
- Utilities Concept Plan
- Phasing Concept Plan
- Design Concept Plan

The Land Use and Circulation Plan establishes specific standards and requirements to which individual development projects within the project area must conform. Concept plans (drainage, utilities, design, etc.) describe programs for community infrastructure development as well as design, grading and phasing concepts. Concept plans are not mandatory master plans and may be revised by the City without formal amendment of the Specific Plan. They do, however, establish the development parameters which must be met as development occurs within the Cypress View Limited project.

3.0 LAND USE AND DEVELOPMENT REGULATIONS

3.1 Business Park Uses and Standards

3.1.1 Purpose and Intent

These regulations act as a principal part of the controlling mechanisms for implementation of the Cypress View Limited project. The standards set forth in this section will ensure that future development within the Business Park classification proceeds in a consistent and aesthetic manner. Future review of site plans by the City of Cypress will provide assurance that these standards are realized.

The land use regulations contained herein are intended to result in a development with a general light industrial/office/retail character which complements surrounding, existing and planned land uses. Regulations provide an appropriate amount of flexibility to anticipate future conditions and to properly integrate a mixture of light industrial/office and support commercial land uses.

Principal land uses for the Business Park classification shall be limited to light industrial, office, and support commercial uses on the project site. The locations of these land uses on the project site will depend upon the needs of the future developer(s) of the property.

3.1.2 Permitted Uses

- a. Principal Uses. The following uses shall be permitted, subject to the approval of a site plan, as specified in Section 8.0, herein:
- 1) All general, administrative and professional offices.
 - 2) Banks, savings and loans, and other financial facilities.
 - 3) Medical and dental offices, clinics and related laboratory facilities.
 - 4) General research facilities and laboratories including, but not limited to product testing, development, manufacturing or processing.
 - 5) Corporate offices and related facilities.
 - 6) Light manufacturing plants and facilities, as further defined in Section 11.1 of the Zoning Code.
 - 7) Assembly plants and facilities.
 - 8) Service industries including but not limited to the following:
 - a) Repair, maintenance or servicing of appliance, component parts, etc.
 - b) Testing shops.
 - c) Photofinishing and photographic processing facilities.
 - d) Blueprinting, reproduction and copying services, photo-engraving, printing, publishing and bookbinding.
 - e) Drycleaning and laundry plants.
 - f) Any other similar use which is found compatible with the purpose and objectives of this section, and which is indicated on an approved Site Plan, according to the provisions of Section 8.0, herein.

- 9) Industries engaged in storage and warehousing.
 - 10) Construction industries such as general contractors and specialty contractors, etc., together with their accessory and incidental office uses, and when entirely contained within a structure.
 - 11) Storage facilities, including but not limited to the following, and when conducted entirely within an enclosed structure:
 - a) Boat storage.
 - b) Recreation vehicle storage.
 - c) Mini-warehouse storage facilities.
 - d) New automotive storage.
- b. Accessory Uses. The following uses shall be permitted, subject to approval of a Site Plan as specified in Section 8.0, herein, and when clearly incidental or necessary to the proper functioning of the above-stated principal uses:
- 1) Retail and service commercial uses within an existing approved shopping center unless a C.U.P. is required.
 - 2) Public utilities building, structures, and facilities.
 - 3) Other uses which are clearly incidental to the proper functioning of a principal use.
- c. Uses Permitted Subject to a Conditional Use Permit. Those special uses, including but not limited to the following, and as specified in Section 11.1 of the Zoning Code, may be permitted subject to approval of a Conditional Use Permit, in accordance with the aforementioned Section 11.1, provided that any conditional use permit is found to be consistent with the goals and objectives of this Specific Plan.
- 1) Hotel, motel
 - 2) Restaurants and retail food establishments
 - 3) Trade schools
 - 4) Shopping centers
 - 5) Machine shop or other metal working shops
 - 6) Service station
 - 7) Wholesale distributing plants
 - 8) General retail commercial uses not contained within a shopping center, and when not an accessory use
 - 9) Temporary use of bulk cargo containers, trailers and other similar temporary storage facilities
 - 10) Other uses consistent with the intent of Section 1, Purpose and Intent, subject to the approval of a conditional use permit application by the City.
- d. Temporary Uses. The following temporary uses may be permitted subject to review and approval of the Planning Director, upon filing of a temporary use permit application, plot plan, and payment of fees as determined by Resolution of the City Council at least 30 days prior to the event:

- 1) Circuses, carnivals, fairs on vacant property only.
 - 2) Outdoor sale of Christmas trees on vacant property only.
 - 3) Temporary outdoor exhibits and/or sales of equipment, goods or services, provided there shall be no more than four such displays or sales in a calendar year and that no one display or sale be conducted for a period of more than four consecutive days.
 - 4) Temporary construction facilities.
- e. Limitations Upon Uses. The following limitations shall apply to all uses:
- 1) All uses shall be conducted within a completely enclosed building, except for temporary uses as permitted above.
 - 2) No overnight parking of vehicles other than those used in conjunction with a permitted use.
 - 3) Storage shall be permitted only within an entirely enclosed structure, and shall be limited to accessory storage of commodities sold or utilized in the conduct of a permitted use on the premises, limited to the rear two-thirds of the property.

3.1.3 Property Development Standards

- a. Building site area. Twenty-thousand (20,000) square feet minimum.
- b. Building site dimensions. One-hundred (100) feet along a street frontage; no minimum lot depth.
- c. Building height and size.
 - 1) Building heights shall be subject to the review and determination of the Federal Aviation Administration, under Part 77 of the Federal Aviation Regulations, which evaluates development projects in the vicinity of the Los Alamitos Armed Forces Reserve Center.
 - 2) Roof-top mechanical equipment shall be set back a minimum of fifteen feet (15') from all exterior building edges and shall not project above the equipment which it is designed to shield from view.
 - 3) The floor area ratio expressed as a proportion of building Gross Floor Area to Building Site Area shall not exceed 1.0, provided, however, that any floor area devoted to parking within a building shall not be considered in determining the total floor area allowed.
- d. Building setbacks. All setbacks shall be measured from the ultimate right-of-way line and interior property lines.
 - 1) Adjacent to Valley View Street, the building setback from the property line may be 0, since the 60-foot wide Bolsa Chica Channel separates the subject site from the Valley View Street right-of-way. The project proposes the undergrounding of this channel which will allow landscaping, surface parking and access roads to be located over the channel, subject to the approval of the Orange County Flood Control District. The setback standards at this edge would provide a 68-foot building and parking structure setback (from curb), and a 38-foot surface parking setback (from curb), which would be landscaped.
 - 2) Adjacent to Cerritos Avenue, all buildings less than 40-feet in height shall have a minimum 40-foot setback.
 - 3) For buildings exceeding forty (40) feet in height, the following setbacks from the ultimate Cerritos Avenue right-of-way will apply:

<u>Building Height</u> (feet)	<u>Building Setback</u> (feet)
85	250
75	200
65	150
55	100
45	50

- 4) Adjacent to a local street. Along any local street, buildings shall be set back a minimum of thirty (30) feet from the ultimate right-of-way line.
- 5) Adjacent to a Business Park or Commercial parcel. Along property lines that separate Business Park or commercial uses there shall be a setback of five (5) feet, which may be reduced to zero (0) feet, subject to Design Review.
- e. Site coverage. Sixty percent (60%) maximum; with parking structure, seventy percent (70%) maximum.
- f. Off-street parking. Except as otherwise stated herein, all provisions and standards contained within Section 14 of the Zoning Code shall apply.
 - 1) In computing required parking, any fraction over a whole number shall be computed as a whole.
 - 2) No more than forty (40) percent of the required parking spaces in retail commercial areas and no more than thirty (30) percent of the required parking spaces in business park areas, shall be designed for compact cars subject to all provisions of Section 11 of the Zoning Code.
 - 3) Parking spaces may be located in the following manners:
 - a) On lot(s) with the building use served.
 - b) On a contiguous lot or lots, provided that access is convenient, subject to review by the Site Plan Review Committee, and as specified in Section 11 of the Zoning Code and providing that a legal instrument is recorded to commit the parcel to off-street parking until the City may release the contiguous lot;
 - c) Within a parking structure (individual or common), and in a conveniently located manner.
- g) Signs. Signs shall be permitted in accordance with Section 7.0 herein.
- h) Lighting. Parking lots shall be lighted. All lighting, interior and exterior, shall be designed and located to minimize power consumption and to confine direct illumination to the premises.
- i) Trucking and loading requirements. Truck loading, rail loading, loading well deck facilities, or doors for such facilities shall not face a public street, or encroach into the required front and street side yard setbacks as follows:
 - 1) Trucking and loading facilities may face a local public street subject to the approval of a Conditional Use Permit application by the Planning Commission.
 - 2) In reviewing such application, the Planning Commission shall be governed by the following:
 - a) Any loading facility shall be set back a minimum of forty-five (45) feet from the property line.

- b) Any loading facility shall not exceed a maximum width of twenty (20) feet.
 - c) Any loading facility shall be located within a fully enclosed structure, screened from view, with doors of a color compatible with the main building.
 - d) Installation of the loading facility will not create an over-concentration of such facilities on any one street, and the Planning Commission shall endeavor to achieve variations in the street scene.
 - e) Adequate area shall be provided for the safe operation of trucks in loading areas.
 - f) Any landscaping which is displaced by construction of loading facilities shall be provided elsewhere.
 - g) Trucking area shall be adequately paved for the type of operation intended.
- j) Trash areas. All trash areas shall be shielded from view within a building or area enclosed by a solid wall not less than six (6) feet in height. No such area shall be located within twenty (20) feet of any residential area.
- k) Screening.
- 1) Parking area abutting highways. An opaque screen shall be installed along all parking areas abutting a highway. Except as otherwise provided, the screening shall have a total height of not less than thirty-six (36) inches and not more than forty-two (42) inches. Where there is a difference in elevation on opposite sides of the screen, the total height shall be measured from the highest elevation.
 - 2) Streets and intersections. Berming along all streets and boundaries shall have a height of not more than 36 inches within twenty (20) feet of the point of intersections of:
 - a) A vehicular accessway or driveway and a street.
 - b) A vehicular accessway or driveway and a sidewalk.
 - c) Two or more vehicular accessways, driveways or streets.
 In addition, any combination of shrubs, walls and berms shall not be higher than 36 inches within twenty (20) feet of any intersection.
 - 3) Notwithstanding the requirements listed above, where the finished elevation of the property at the boundary line, or within five (5) feet inside the boundary, is lower than an abutting property elevation, such change in elevation may be used in lieu of, or in combination with, additional screening to satisfy the screening requirements for this section.
 - 4) A screen as referred to above shall consist of one or any combination of the following types:
 - a) Walls including Retaining Walls: A wall shall consist of concrete, stone, brick, tile or similar type of solid masonry material and shall be a minimum of six (6) inches thick.
 - b) Berms: A berm shall be constructed of earthen material and it shall be landscaped.
 - c) Landscaping: Vegetation, consisting of evergreen or deciduous trees or shrubs.
 - 5) Mechanical equipment. Mechanical equipment placed on any roof such as, but not limited to, air conditioning, heating, ventilating ducts and exhaust shall be screened in a material consistent with the building and screened from view from any abutting street or highway and any

abutting residential area. All such mechanical equipment shall be maintained in a clean and proper condition to prevent a collection of litter and filth and to avoid the emission of unnecessary noise, dust or fumes.

1. Landscaping. Landscaping, consisting of evergreen or deciduous trees, shrubs, ground cover or hardscape, shall be installed and maintained subject to the following standards:
 - 1) Boundary landscaping abutting Cerritos Avenue is required to a minimum depth of twenty (20) feet (see Figure 15).
 - 2) Boundary landscaping abutting Valley View Street is required to a depth of 38 feet, including a 10-foot wide bicycle/pedestrian path (see Figure 16).
 - 3) Boundary landscaping along public streets, other than arterial highways, is required to a minimum depth of fifteen (15) feet.
 - 4) Boundary landscaping abutting residential parcels shall be designed to create a visual buffer between said areas. Landscape plans submitted with Site Plans shall indicate the species, plant size, location and number of trees to be planted which will meet this requirement, and shall be consistent with the provisions contained in Section 7.0, Design Guidelines, herein.
 - 5) Side and rear setback areas. All unpaved, non-work areas not utilized for parking or storage shall be landscaped.
 - 6) An additional amount of landscaping, equal to at least five (5) percent of the gross building area, is required and a minimum of fifty (50) percent of such landscaping shall be located in parking areas.
 - 7) Separation. Any landscaped area shall be separated from an adjacent vehicular area by a wall or curb at least six (6) inches higher than the adjacent vehicular area or in some manner shall be protected from vehicular damage.
 - 8) Watering. Permanent automatic watering facilities shall be provided for all landscaped areas.
 - 9) Maintenance. All landscaping shall be maintained in a neat, clean and healthy condition. This shall include proper pruning, mowing of lawns, weeding, removal of litter, fertilizing, replacement of plants when necessary, and the regular watering of all plantings.
- m. Environmental pollution control. Any permitted use shall be performed or carried out entirely within a building that is designed and constructed so that the enclosed operations and uses do not cause or produce a nuisance to adjacent sites, such as but not limited to the following: radio frequency interference, sound, vibration, electromechanical disturbance, electromagnetic disturbance, radiation, air pollution, dust, emission of toxic or non-toxic odors, or toxic or nontoxic matter. Further, any permitted use shall meet all performance standards specified in Section 11.3 of the Zoning Code, which do not conflict with any of the provisions of this Specific Plan.

3.2 Retail Commercial Uses and Standards

3.2.1 Purpose and Intent

These regulations apply to potential commercial and professional office uses, as well as the potential implementation of a neighborhood-level commercial shopping center, designed as a integrated center. Potential uses include retail outlets, service commercial uses and restaurant and dining facilities.

3.2.2 Permitted Uses

Those uses specified below and in Section 10.1 of the Zoning Code (CG-10000 classification) shall apply.

- a. Architectural, engineering, research and testing firms and laboratories.
- b. Financial institutions.
- c. General office uses.
- d. General retail commercial uses contained within a shopping center.
- e. Professional office uses.

Those standards regulating signage, as contained in Section 10.4 of the Zoning Code, shall apply to retail commercial uses, and shall supercede any other standards regarding signage which are contained within this Specific Plan.

3.2.3 Site Development Standards

For building setbacks see Section 3.1.3.d. The following landscaping requirements shall apply for commercial uses:

- a. Cerritos Avenue setback: Twelve (12) feet minimum, fully landscaped.
- b. Valley View Street setback: See Section 3.1.3.1.(2) of this Specific Plan.

3.2.4 Reserved Commercial Acreage

Three (3) acres have been reserved in the northeast corner of the site, as shown in Figure 6, for the development of approximately 60,000 square feet of commercial/retail development.

The three (3) acre site shall be that portion of the Subject Property presently identified in the City's Zoning Ordinance as commercial land use, through December 31, 1991. If the Developer develops other space within the Subject Property as commercial/retail, then the area reserved will be reduced by the equivalent amount of the alternative area so developed. The City will prepare or have prepared a market study in 1988 and again in 1990 (the specific time during the subject years to be selected by the City) at the Developer's expense to determine the present and future commercial/retail potential of the Subject Property, if the Subject Property is not yet developed as commercial/retail. If the 16-acre parcel at the southeast corner of Katella and Valley View is developed as commercial/retail, then this condition shall be released. The Developer will use all reasonable diligence to develop the reserved land for commercial retail uses.

4.0 CIRCULATION PLAN

The Circulation Master Plan provides the transportation system and basic standards for safe, efficient vehicular movement within and through the project area. This plan consists of alignments for arterial and local streets, roadways and respective rights-of-way, as well as the treatment of controlled access points into specific areas within the project area.

The circulation plan for the Cypress View Limited project reflects four considerations:

- The existing circulation network and planned improvements within and around the project area.
- Future traffic volumes from anticipated project area and area-wide growth;
- Traffic generation characteristics anticipated for the project site; and
- The City's goals, objectives and policies pertaining to circulation, as delineated in the General Plan Circulation Element.

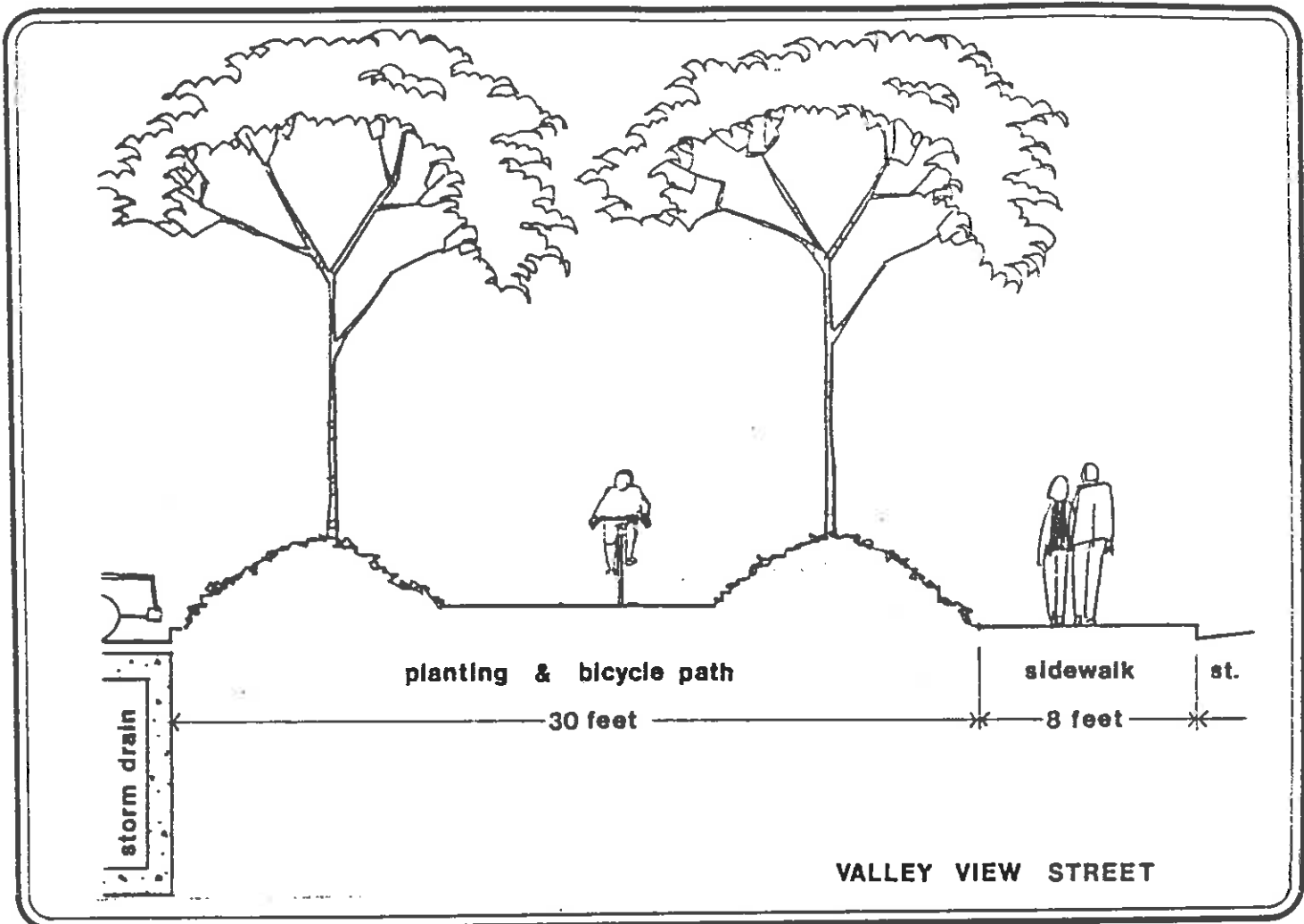
4.1 Project Vehicular Circulation

The circulation system for the project area relies primarily on the major thoroughfares which currently exist in the area. These include Valley View Street, Cerritos Avenue, Walker Street and Katella Avenue. The project will also utilize Corporate Avenue in the adjacent Koll Center Development to channel traffic toward Walker Street as an alternative to Valley View Street.

The Land Use and Circulation Master Plan is depicted in Figure 6. Each of the major thoroughfares which are part of the Specific Plan circulation system or will be utilized substantially by traffic from the subject specific plan area are described in the below paragraphs.

4.1.1 Valley View Street

This is a six-lane major arterial highway which runs in a north-south direction. The roadway is improved presently with a raised median, six through lanes, dual left-turn lanes at Katella Avenue (north-south bound), and a one-hundred and twenty (120) foot right-of-way. Intersections with Cerritos Avenue and Katella Avenue in the vicinity of the project area are signalized. There is a break in the median island at Gateway Drive to allow left turns into and out of the Warland development east of the subject site. Improvements to Valley View Street in this Specific Plan involve streetscape improvements along project boundaries (i.e., landscaping and a bikeway) and modification of the median island in Valley View Street to allow left turns into the subject site. A conceptual elevation drawing of these improvements is shown in Figure 7. An access to the subject site will be provided at the existing intersection of Valley View Street with Gateway Drive.



VALLEY VIEW STREET

SOURCE: EBERTING INTERNATIONAL



FIGURE 7
 VALLEY VIEW STREET
 INTERFACE CONCEPTUAL ELEVATION DRAWING
 CYPRESS VIEW LIMITED SPECIFIC PLAN

4.1.2 Cerritos Avenue

Cerritos Avenue runs parallel to Katella Avenue along the north boundary of the project area. It is a four-lane, fully improved primary arterial highway with a one-hundred (100) foot right-of-way, and is signalized at the intersections of Walker Street, Valley View Avenue, Holder Street and Knott Avenue. Improvements to Cerritos Avenue adjacent to the Cypress Valley View Limited property will include streetscape improvements, such as sidewalks and landscaping, and the provision of an access street off of Cerritos Avenue opposite the existing Camden Street. A conceptual elevation drawing is provided in Figure 8.

4.1.3 Corporate Avenue

This existing, east-west trending, local business park street dead ends at the west boundary of the subject Specific Plan area. In order to reduce project-generated traffic on Valley View Street, the project internal circulation system connects with Corporate Avenue, thereby providing access to Walker Street (i.e., Corporate Avenue to Progress Way to Executive Drive to Walker Street). In this way, Walker Street will become an alternative to Valley View Street, which is heavily congested. Corporate Avenue is presently 44 feet wide and striped for one lane of travel in each direction.

4.1.4 Walker Street

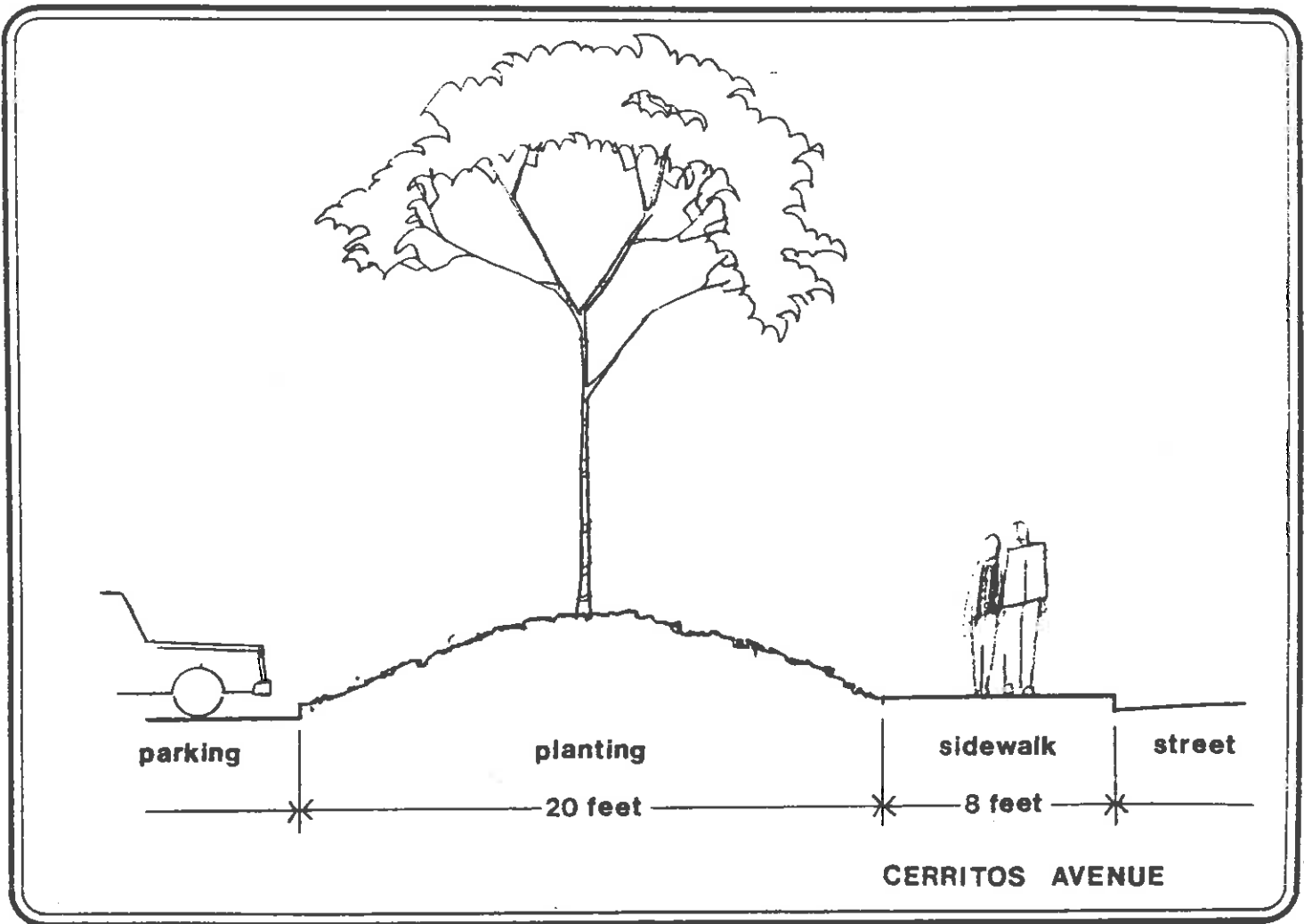
Walker Street has five to six lanes in the area north of Katella Avenue and is a fully improved four-lane primary arterial highway south of Katella Avenue. A substantial portion of the project-generated traffic is expected to utilize Walker Street.

4.1.5 Katella Avenue

This east-west major arterial highway, which has a one-hundred and twenty (120) foot right-of-way is improved with six through lanes and dual left-turn lanes in each direction in the vicinity of Valley View Street. The intersection at Valley View Street south of the project site is signalized. A substantial portion of the project-generated traffic is expected to utilize this street.

4.1.6 Local Streets

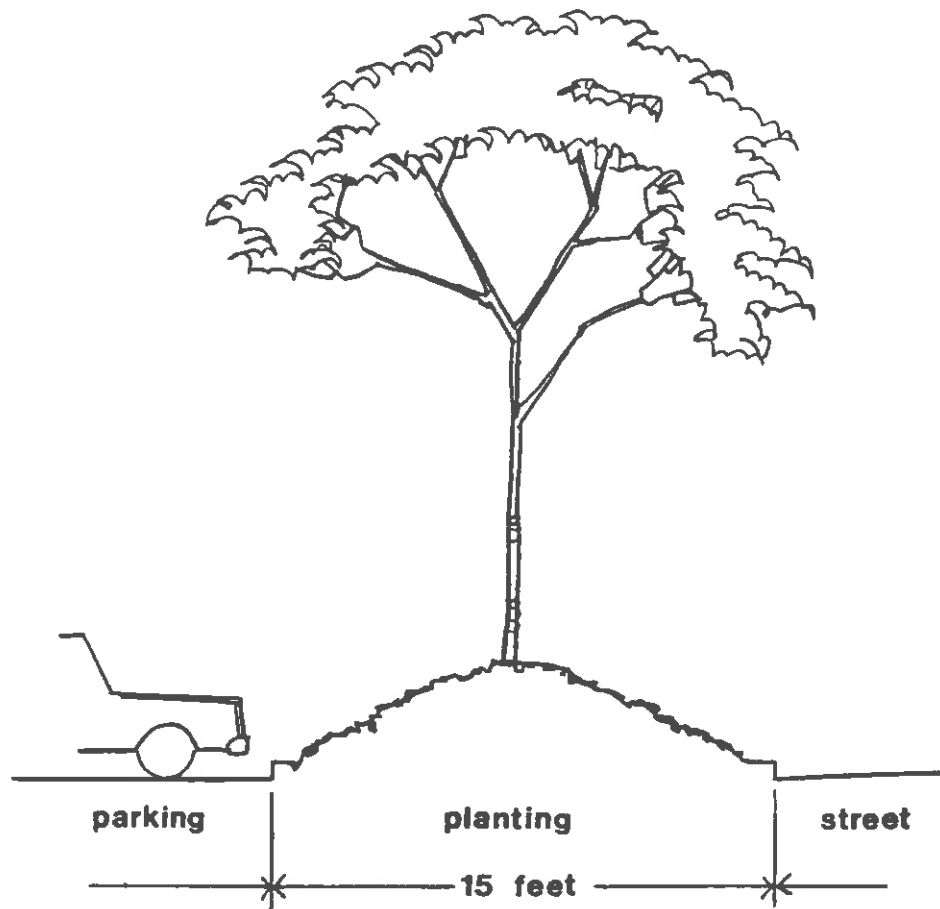
Local streets within the project area shall connect planning areas directly or indirectly with the arterial roadways described above. The internal circulation system was designed to take advantage of the existing median opening in Valley View Street to facilitate traffic flow to the east via Corporate Avenue and to avoid traffic conflicts with the residential streets on the opposite side of Cerritos Avenue. Local roadways within the project area shall have a forty-five (45) foot right-of-way and forty-four (44) foot curb-to-curb roadway width. Figure 6, Land Use and Circulation Master Plan, depicts the preliminary alignments of local streets within the project site. A cross-section of a typical internal roadway minimum landscape setback is depicted in Figure 9. Planned local streets shall provide a minimum of two travel lanes. On-street parking shall be prohibited. The need for, precise location of, and design and geometrics of local streets shall be submitted for approval by the Design Review Committee at the time development is proposed. Such review shall be based upon adopted City Engineering design standards.



SOURCE: EBERTING INTERNATIONAL



FIGURE 8
 CERRITOS AVENUE
 INTERFACE CONCEPTUAL ELEVATION DRAWING
 CYPRESS VIEW LIMITED SPECIFIC PLAN



INTERIOR STREET

SOURCE: EBERTING INTERNATIONAL



FIGURE 9
INTERNAL ROADWAY
CONCEPTUAL ELEVATION DRAWING
CYPRESS VIEW LIMITED SPECIFIC PLAN

4.1.7 General Provisions

- a. No development shall be permitted on parcels without improved street access. For purposes of this standard, a street is a maintained public street or alley or a private street subject to the approval of the City Engineer and Public Works Director.
- b. Portions of any lot within any future right-of-way shown on the City's Official Plan Lines Map or in this Specific Plan shall not be occupied by structures, other than those encroachments normally permitted in rights-of-way. All other required setbacks, yards and open spaces shall be calculated on the basis of the establishment of the future rights-of-way; future right-of-way lines shall be considered to be lot lines for purposes of determining such setbacks, yards and open spaces.
- c. Dedication of the right-of-way shown on the City's Official Plan Lines Map or in this Specific Plan shall be required as a condition of approval for any development.
- d. Installation of curbs, gutters, sidewalks, streets, and alley paving, street lighting and street trees shall be subject to the provisions of the City's Standard Improvement Plans.
- e. All street names within the project area shall be approved, and changed if necessary, by the City of Cypress.
- f. On-street parking on public roadways shall be prohibited.
- g. No structures shall be permitted to develop over existing pipeline, power line, drainage, transmission line or other similar easements, except where these can be relocated. See Section 5.0 of this Specific Plan for additional discussion of utilities rights-of-way.

4.2 Vehicular Access Points

Primary access to the project site shall be via site access streets from Valley View Street, Cerritos Avenue and Corporate Avenue at the points illustrated in Figure 6, Land Use and Circulation Master Plan. Entries from Valley View Street and Cerritos Avenue are planned to accommodate one in-bound and two out-bound travel lanes.

The precise location, design and geometrics of these primary access points shall be submitted for approval by the Design Review Committee and Director of Public Works at the time development is proposed. Such review shall be based upon adopted City Engineering design standards.

As the primary access to the project site, special design treatment by the developer shall be required, including special landscaping and decorative pavement materials as described in Section 7.0, Design Guidelines, of this Specific Plan.

4.3 Pedestrian and Bicycle Trails

A pedestrian system will be provided to allow pedestrian movement not only within the project site but also to and from surrounding land uses. Functional relationships (i.e., the mixture and interplay of uses in the area) will be further enhanced to the degree that convenient pedestrian access is provided.

The pedestrian system for the Cypress View Limited project shall primarily consist of street-sidewalks on Cerritos Avenue, a bikepath/walkway on Valley View Street, and on-site internal pedestrian walkways. Plans for pedestrian access and circulation shall be submitted for review and approval as a condition of the Site Plan Review.

Pedestrian access for the Cypress View Limited project shall be built in accordance with the following standards:

- Walkways within street rights-of-way shall be to City Engineering standards and shall be located as provided for in the typical street elevation drawings (see Figures 7 and 8).
- Internal walkways shall be separated from vehicular drives and shall connect at safe and convenient points with street sidewalks and street crossings.
- Pedestrian walkways shall directly link each building in the project site with parking areas, other buildings, and off-site areas.

An existing bikeway is located along the Bolsa Chica Channel south of Cerritos Avenue. This bikeway is consistent with the City's Master Plan of Bikeways. This bikeway will be incorporated into the landscaped setback from Valley View Street which will include a portion of the Bolsa Chica Flood Control Channel right-of-way. To provide continuity; the landscaped setback/bikeway treatment will be consistent with that of the adjacent McDonnell Douglas Specific Plan area to the south.

4.4 Public Transportation

The Orange County Transit District operates a bus line in the area, along Katella Avenue. There are currently stops along Katella Avenue south of the project site at Walker Street, Douglas Drive, and Valley View Street.

5.0 UTILITIES AND SERVICES CONCEPT PLAN

Services and facilities for the Cypress View Limited project shall be extended and improved in conjunction with its phased development. Major infrastructure facilities are described below, along with specific requirements.

5.1 Drainage Concept Plan

The drainage concept plan for the project area shall provide the required level of protection from flooding. This area is currently protected from major flooding by the existing storm drain system, which includes the Bolsa Chica Channel, located along the eastern site boundary (parallel to Valley View Street). The Bolsa Chica channel is sized to accommodate 25-year floods and ultimately 100-year floods with freeboard. While the eastern portion of the site drains to the Bolsa Chica Channel, approximately 1,200 feet of the western portion of the site can be served by the existing 60-inch storm drain in Progress Way, which flows to the drain in Katella Avenue via the Walker Street drain. Figure 10, Existing Drainage and Storm Drainage System, shows the existing drainage facilities in the vicinity of the Specific Plan site.

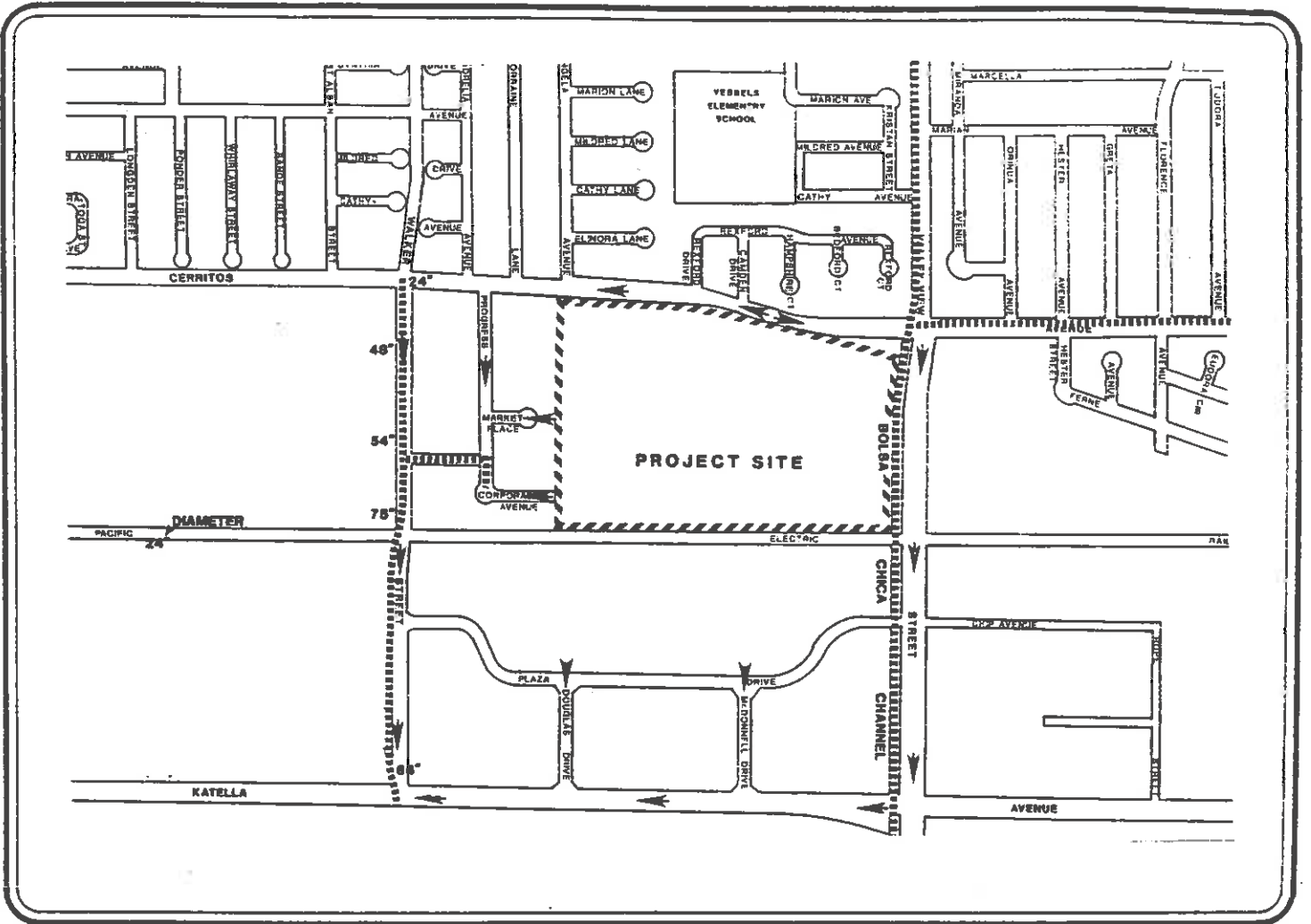
Improvement of the project site will require additions to the existing storm drain system in order to eliminate potential local problems. The development of the project will require improvement of the Bolsa Chica Channel into a 13-foot by 8-foot reinforced concrete box drain and connection of the western portion of the site to the drain in Progress Way.

5.2 Water System Concept Plan

The existing water supply system in the area of the project site is shown in Figure 11. The ultimate location and size of future lines serving the project will be determined as precise water system requirements are developed during detailed levels of project design, and shall be subject to the provisions of Site Plan Review. Sizing of mains may also be adjusted in response to different on-site land use intensities. Water service to new development within the project site is contingent on the ability of the City's water purveyor(s) to meet the water demands posed by additional development within the region. The proposed water distribution system will be reviewed by the City of Cypress and the Southern California Water Company. The precise locations and sizing of water lines and related facilities shall be determined and approved by the City and the Southern California Water Company prior to final tract maps.

5.3 Sewer Concept Plan

The City of Cypress is responsible for the collection of wastewater within the project area, while the Orange County Sanitation District (OCSD) is the responsible agency for wastewater treatment. The locations of existing sewer lines in the project area are shown in Figure 12. The OCSD has two major trunk lines which traverse the area in a north-south direction, one along Holder Street and one along Knott Street.



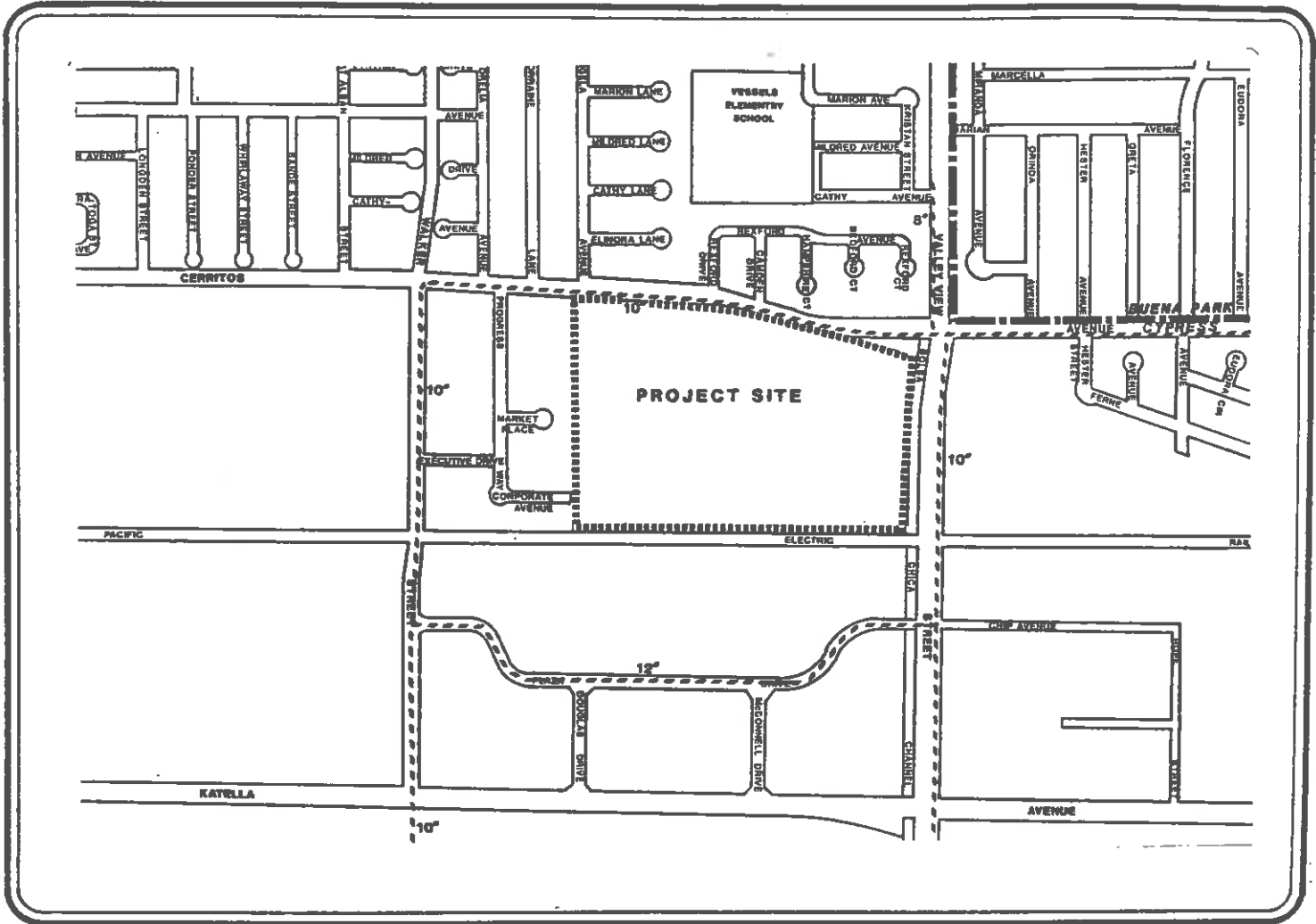
LEGEND

- STORM DRAIN SYSTEM
- ▶ STREET DRAINAGE DIRECTION

BCL

400 0 400
feet

FIGURE 10
EXISTING STREET
DRAINAGE AND STORM DRAIN SYSTEM
CYPRESS VIEW LIMITED SPECIFIC PLAN



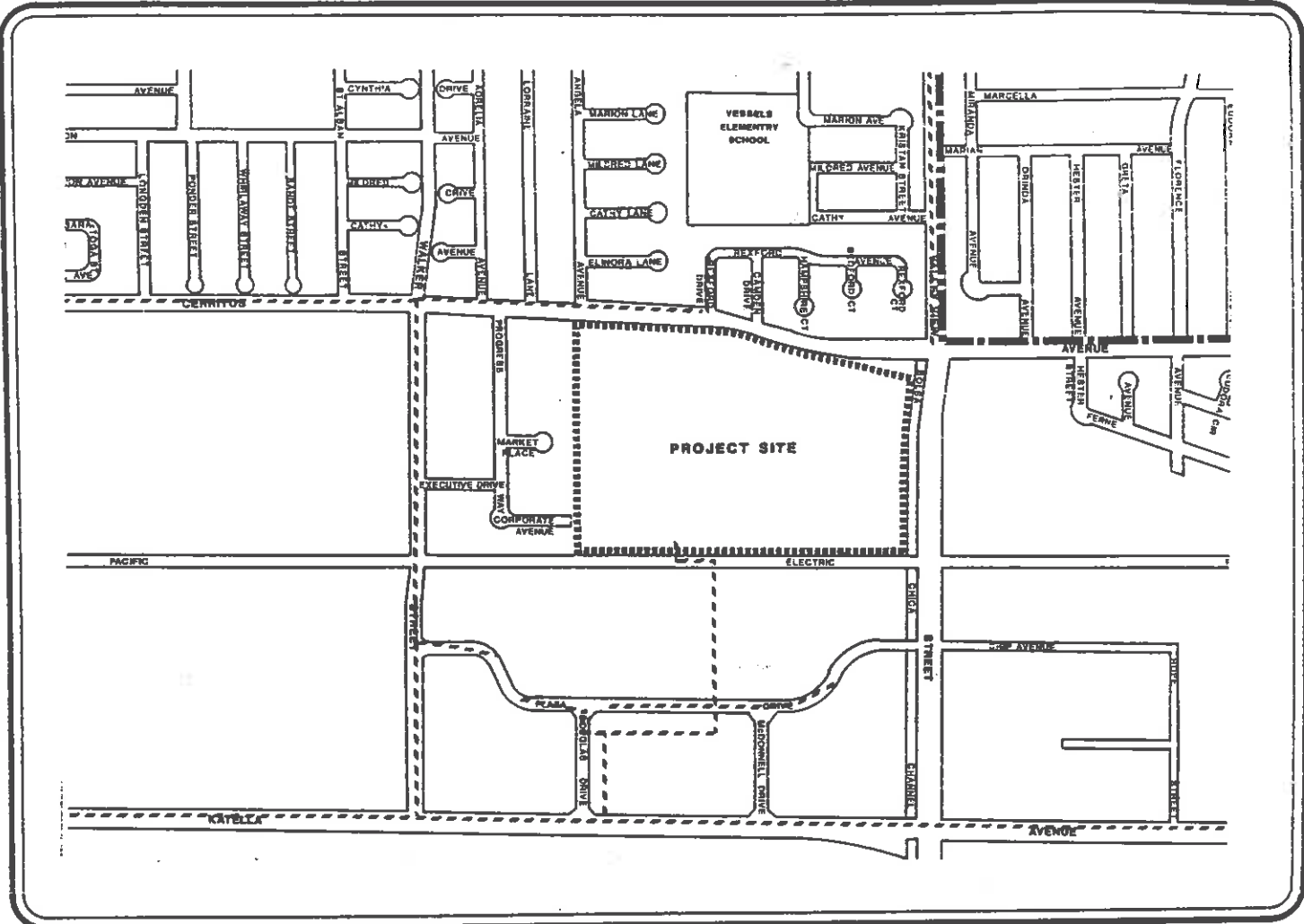
LEGEND

--- WATER MAIN 10" DIAMETER

BCL

400 0 400
feet

FIGURE 11
EXISTING WATER DISTRIBUTION SYSTEM
CYPRESS VIEW LIMITED SPECIFIC PLAN



LEGEND

////// SEWER LINE

BCL

FIGURE 12
 EXISTING SEWAGE COLLECTION SYSTEM
 CYPRESS VIEW LIMITED SPECIFIC PLAN

There are presently no wastewater collection lines on-site. However, there is an agreement between the Cypress View Limited property owner and the property owner to the south, whereby the property owner to the south must provide a main sewer connection across that property. An existing line which was placed for that purpose now has a building over it.

The precise sizes and locations of future lines within the Specific Plan area will be determined prior to final tract maps and will be based upon the specific needs of the service area.

5.4 Other Utilities

The Cypress View Limited project site lies within the service areas of Southern California Edison Company (electricity), Southern California Gas Company (natural gas), Pacific Bell (telephone), and Briggeman Disposal Company (solid waste). This utility network can be expanded to meet the future demands of the project. The specific design and sizing requirements of necessary improvements and/or additions will be determined as part of the Site Plan Review procedures. All utility lines will be placed underground, either in the street or in public utility easements adjacent to the curb.

5.5 General Infrastructure and Service Requirements

The following are general infrastructure and service requirements for the proposed project:

- Installation of curbs, gutters, sidewalks, street and alley paving, street lighting and street trees shall be subject to the provisions of the City's Standard Improvement Plans.
- No structures shall be permitted to develop over existing pipeline, power line or other similar easements, except where these can be relocated, and with the approval of the City Engineer.
- All on-site water supply, wastewater collection, storm drainage, and sewer lines and related facilities shall be provided by the developer in accordance with the provisions of the City's Master Plans for water, sewers, and drainage, unless costs are otherwise determined as a result of a negotiated development agreement.
- All utility lines serving the project area shall be placed underground by the developer as a condition of approval of building permits.
- Adequate water for estimated domestic consumption and for fire flow requirements, as determined by the Orange County Fire Department, shall be provided by the developer, unless costs are otherwise determined as a result of a negotiated developer agreement.
- For any development within the Cypress View Limited project site the practicality of providing public facilities without incurring unusual public costs shall be demonstrated by the developer.

- Costs for improvements to water drainage, and sewer systems included in the City's adopted Master Plans for water, drainage and sewers shall be assigned to each development lot or parcel in accordance with a cost-benefit formula established by the Public Works Director, based on current engineering construction costs, as amended from time to time, or as otherwise determined as a result of the negotiated development agreement.
- Development of the project area shall comply with all the requirements of the Orange County Fire Department in providing adequate fire flow, number and location of hydrants, building clearances, and street turning radii for access.
- The developer shall review with the Police Department the nature of the development and types of security measures appropriate to be included.

6.0 CONCEPTUAL PHASING PLAN

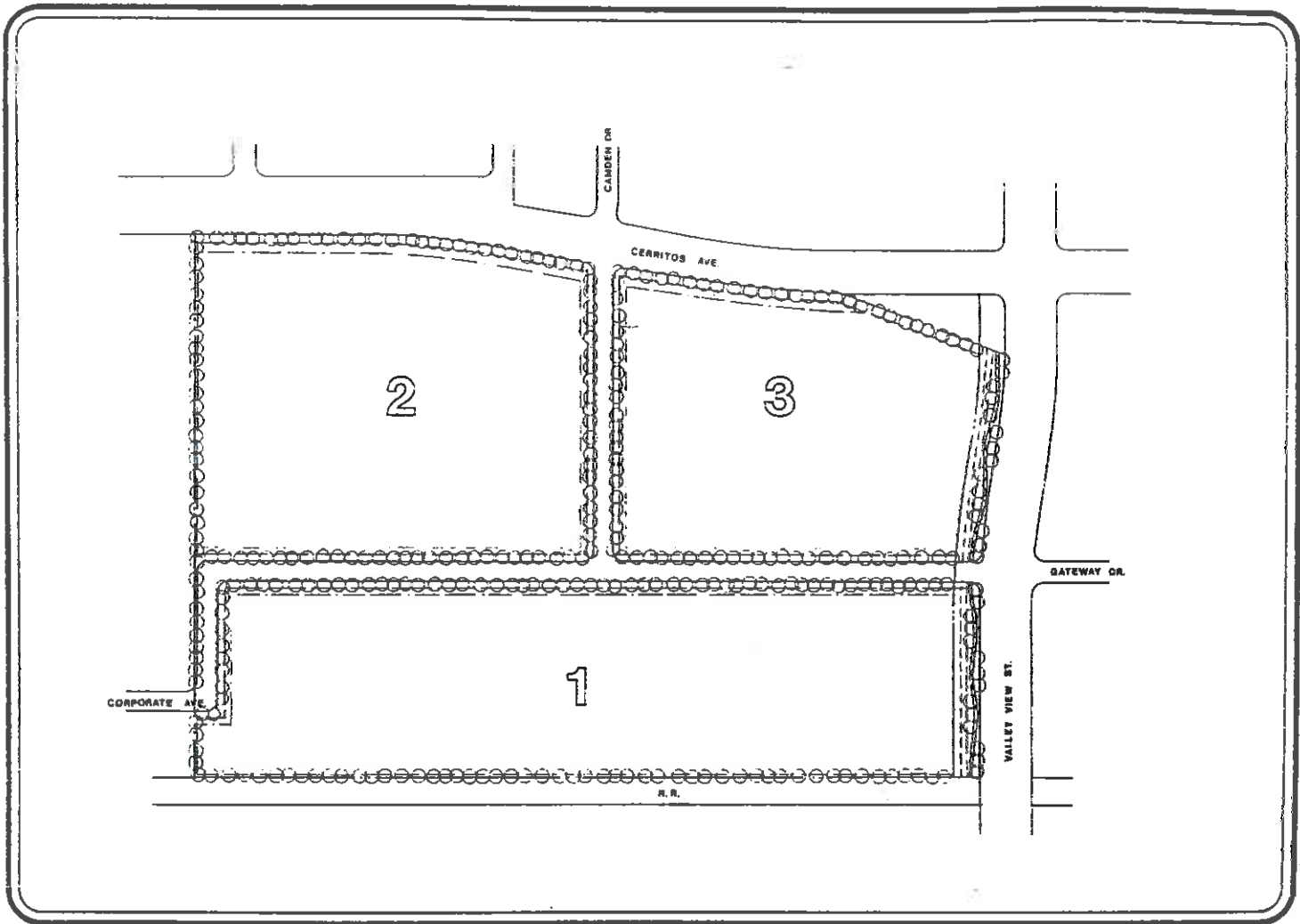
The purpose of a phasing concept plan is to outline the sequence of land use development, and to determine the implications of growth on project feasibility infrastructure requirements, and City revenues following a set of planning assumptions. The actual course of development phasing is important for the execution of capital improvement and operating budgets, as well as the timely generation of public revenues.

The location, rate and specific character of new development is greatly influenced by future economic conditions which cannot be predicted with accuracy at this time. The phasing scenario and the actual realized pace of development are very sensitive to absorption rates which, in turn, are influenced by national economic conditions, competition in the regional and local markets, the cost of development and the actions of government agencies. Other factors which will influence the phasing of development include the desires of individual developers, and project incentives which may be offered by a public jurisdiction.

Phasing of development within the area in question involves a number of considerations including:

- The timing of public off-site improvement costs;
- Identifying combinations of parcels which can be freestanding in terms of parking, access and other considerations (logical combinations of lots consolidation);
- Allowing for a number of combinations of development options/lot consolidations;
- Matching absorption potentials identified in market analyses; and
- Integrating the potential for assistance from the City's redevelopment agency.

A conceptual phasing plan is provided in Figure 13. Project phasing is based upon a 5 to 10 year build-out, and the assumption of relatively even annual absorption rates. The information in Figure 13 is conceptual only and is subject to change.



<u>PHASE</u>	<u>ACRES</u>	<u>GROSS BUILDING AREA(FT²)</u>
1	15.7	800,000
2	13.5	685,000
3	10.1	515,000
TOTAL	*39.3	2,000,000

* THE REMAINING 7.6 ACRES IS IN STREETS AND LANDSCAPED SETBACKS.
 NOTE: THE ABOVE TABLE IS AN APPROXIMATION ONLY.

BCL



1"=400'



FIGURE 13
 CONCEPTUAL PHASING PLAN
 CYPRESS VIEW LIMITED SPECIFIC PLAN

7.0 DESIGN GUIDELINES

7.1 Introduction

Design Guidelines for the Cypress View Limited project site are intended to define and emphasize the uniqueness of the project area and to establish proper relationships with surrounding areas. Valley View Street is an important business corridor of the City. It carries a significant amount of through traffic, and provides an important focus for the southern portion of the City of Cypress.

In general, landscaping and site design within the project site should be organized and formal in nature, consistent with the structured, urban character which is intended for the Cypress View Limited project site. Site design and landscape development should be based upon promoting a strong identity and "sense of place" within the Specific Plan area. The plan must respond to the multiple purposes of the Cypress View Limited project: Light industrial/office, and commercial uses. The emphasis for design treatments should advance these objectives throughout the entire fabric of the project site: through building forms and materials, streetscapes, setback areas, project areas and within special treatment areas. Combined, these elements can allow the Cypress View Limited project to be distinctively different from its surroundings, and to provide a sense of identity and integrity of design to this project.

7.2 Landscape Concept Plan

The Landscape Concept Plan is an integral element in achieving a distinctive development character for the project area. This character is reinforced through the coordinated design and selection of landscape and paving materials, and emphasis on special features. Required guidelines are specified for the following categories:

- Streetscapes
- Project Edges
- Project Entries
- Landscape Materials
- Hardscape Design Elements
- Signage

The Landscape Concept Plan contained herein establishes a framework for consistency of design between the ultimate development pattern and phased increments. As phases are implemented, landscape plans shall be approved which are consistent with and implement these concepts. The above categories are described in the following pages.

The Landscape Concept Plan is represented graphically in Figure 14. Cross Sections of street edges and project edges from the plan are provided in Figures 15 through 18.

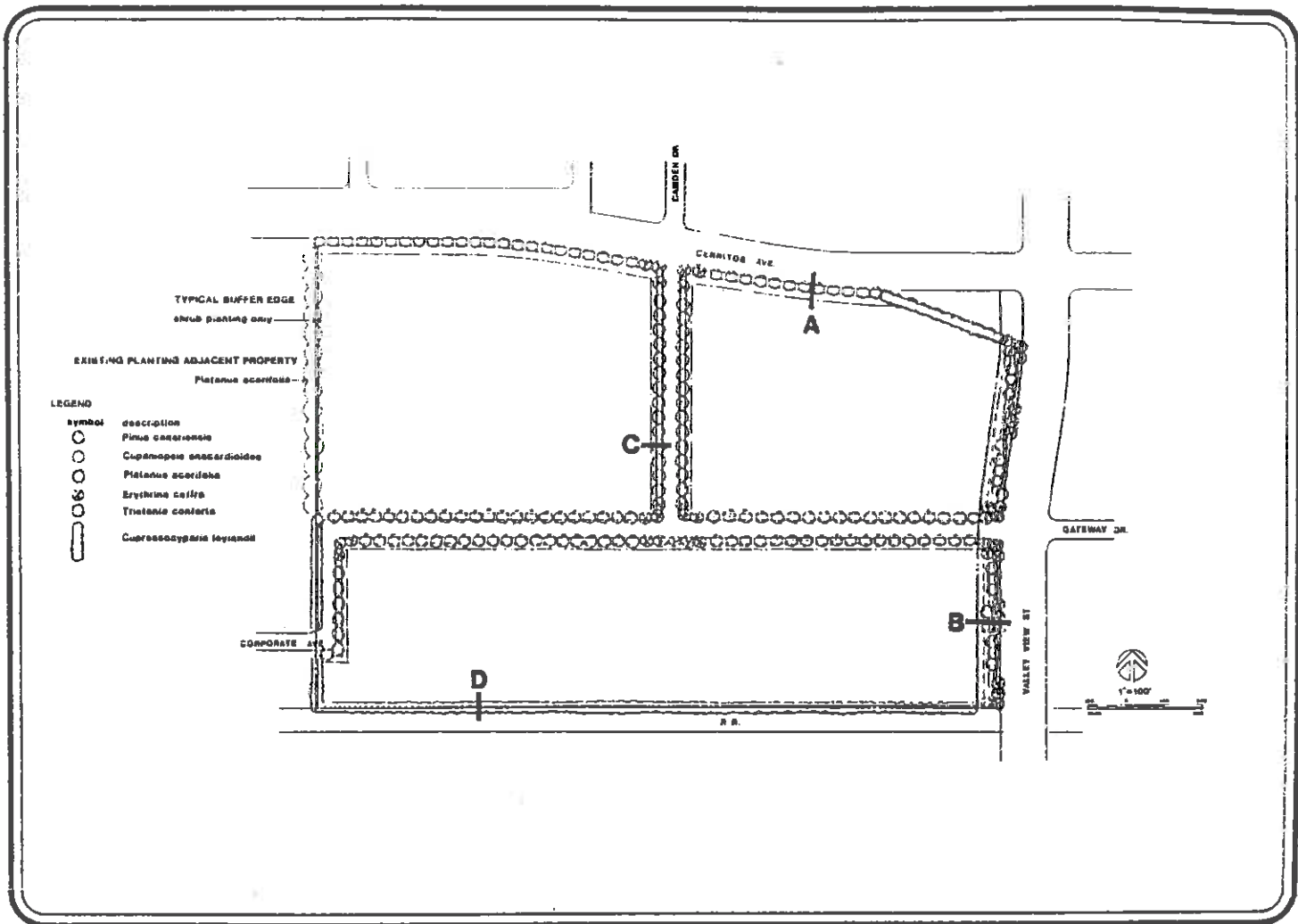


FIGURE 14
 LANDSCAPE CONCEPT PLAN
 CYPRESS VIEW LIMITED SPECIFIC PLAN

BCL

400 0 400
 scale

7.2.1 Streetscapes

Landscape Edge Adjacent to Surrounding Arterials: To create a unifying element surrounding the project area, a landscaped edge will be maintained adjacent to Valley View Street and Cerritos Avenue. This edge will contain informal tree plantings with shrubs along all parking lot edges and turf below on undulating berms 30" - 36" in height. The width of the landscape edge will vary with the adjacent street. Minimum widths from curb to parking or building edges are illustrated on the Cerritos Avenue and Valley View Street Sections in Figures 15 and 16. Maintenance of these areas will be performed by the development owner.

Recommended plant materials within these streetscapes are as follows:

Trees:	Cupaniopsis Anacardioides	(Carrotwood tree)
	Tristania conferta	(Brisbane box)
	Erythrina caffra	(Coral tree)
	Pinus carariensis	(Canary Island pine)
Groundcovers:	Vinca minor	(Dwarf periwinkle)
	Turf	

Median Island Landscaping: Median island landscaping and irrigation are to be installed in the median island on Valley View Street between Cerritos Avenue and the Pacific Electric Railroad right-of-way. Improvement costs shall be allocated on a fair-share basis with adjacent and opposite developments and shall be subject to the approval of the City of Cypress. Maintenance of arterial medians will be performed by the City.

Landscape Edge Adjacent to Internal Roadways: To provide a unifying element within the project boundaries, the following streetscape guidelines shall be implemented. Streets which provide the major access to the Business Center shall be landscaped in a formal urban arrangement. These streets shall be landscaped with a consistent tree species approved by the City to identify each roadway as the primary circulation feature.

All internal streets shall maintain a minimum fifteen-foot landscape strip between the curb and parking or building edge. This strip shall be planted with trees, shrubs along the parking lot edges and turf below (see Figure 17). Maintenance of these areas will be performed by the development owner.

Plant materials recommended for consideration are as follows:

Trees:	Pinus canariensis	(Canary Island pine)
	Platanus acerifolia	(London plane tree)
	(Approximately one tree per 30 linear feet of street frontage, not including drives, as approved by City staff).	
Shrubs:	Raphiolepis indica	(India hawthorn)
	Xylosma congestum compacta	(Xylosma)
	Carissa grandiflora 'tuttlei'	(Natal plum)
	Hemerocallis hybrids	(Day lily)
Groundcover:	Turf	
	Fragaria chiloensis	(Ornamental strawberry)

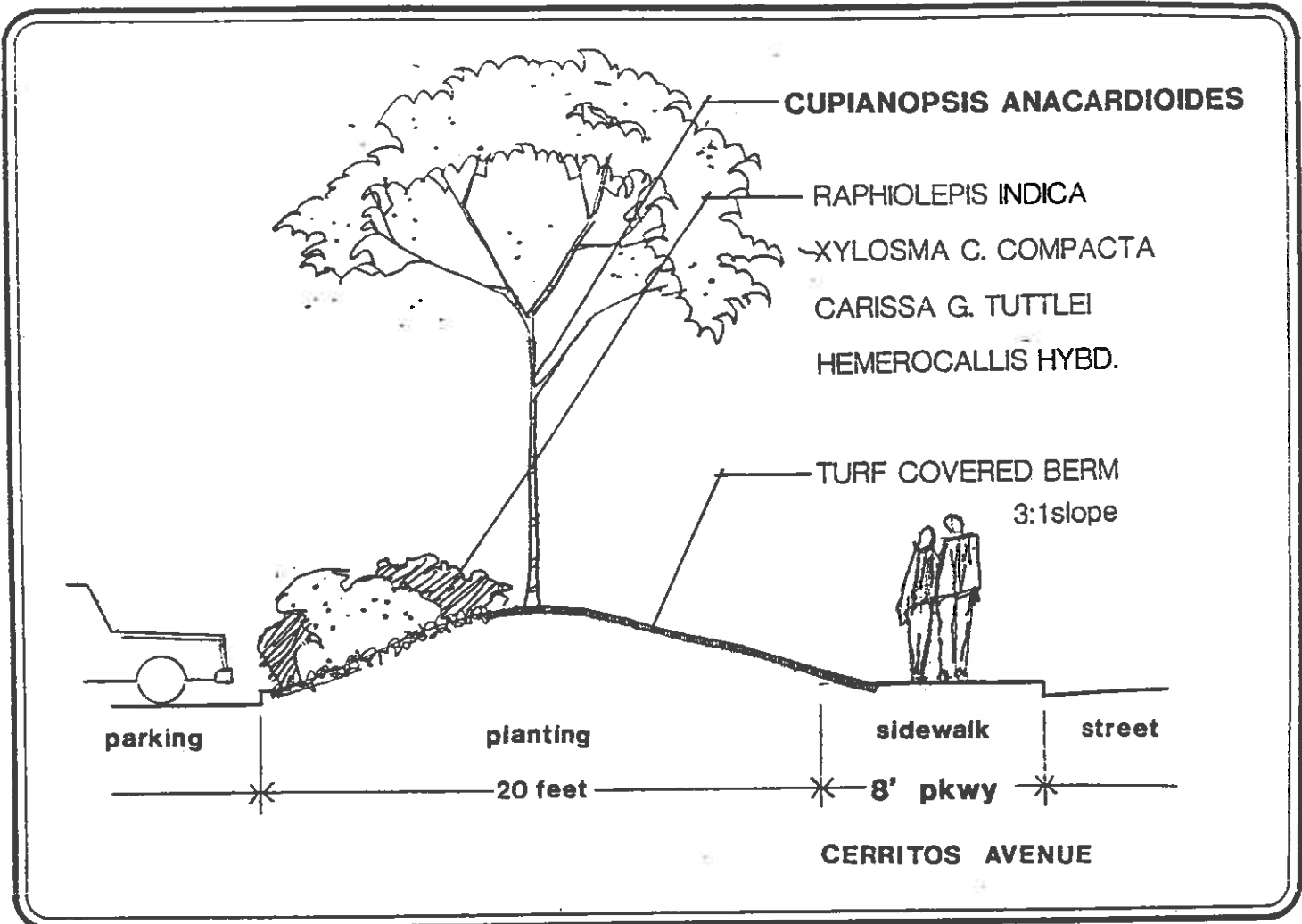


FIGURE 15
 CROSS SECTION A OF
 CERRITOS AVENUE LANDSCAPING
 CYPRESS VIEW LIMITED SPECIFIC PLAN

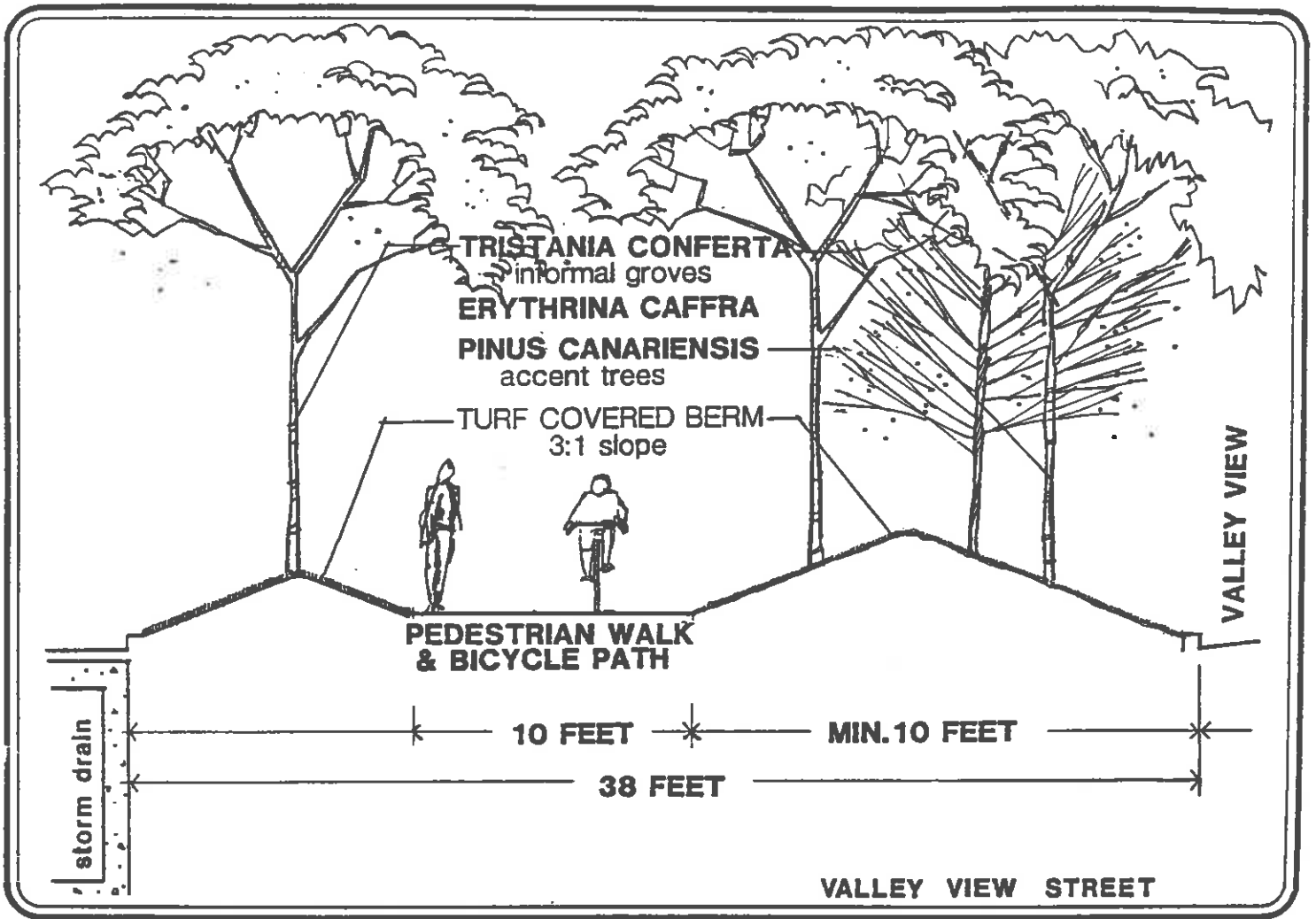
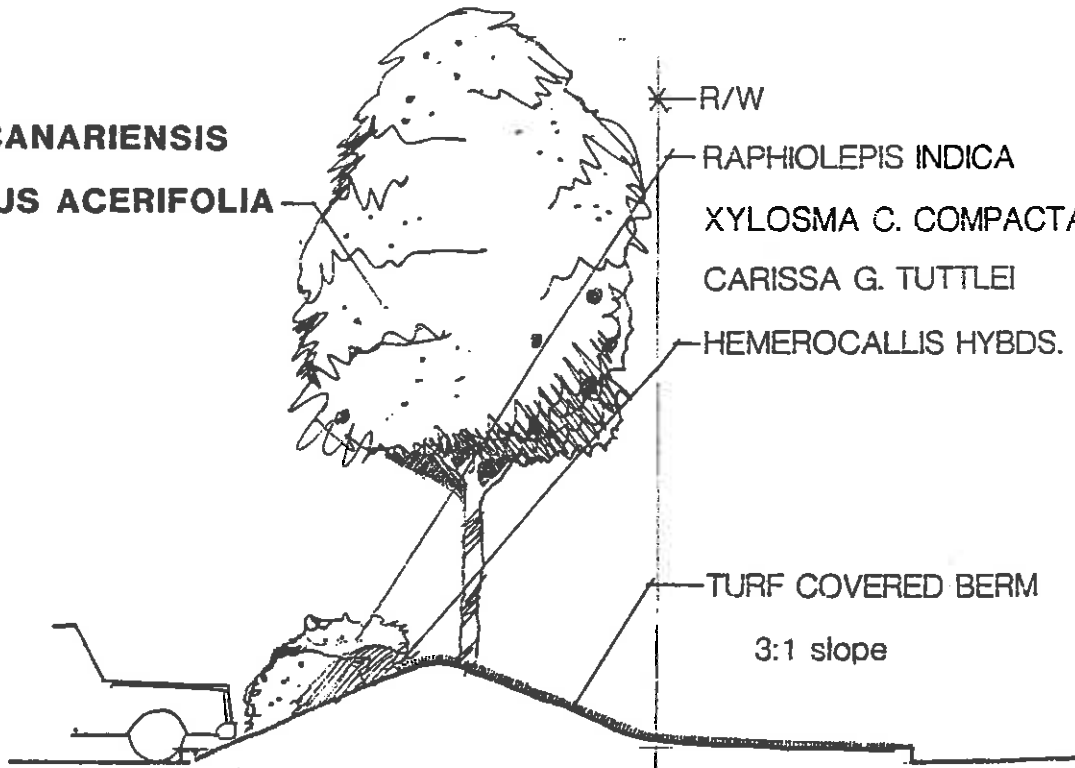


FIGURE 16
 CROSS SECTION B OF
 VALLEY VIEW STREET EDGE LANDSCAPING
 CYPRESS VIEW LIMITED SPECIFIC PLAN

PINUS CANARIENSIS
PLATANUS ACERIFOLIA

* R/W
RAPHIOLEPIS INDICA
XYLOSMA C. COMPACTA
CARISSA G. TUTTLEI
HEMEROCALLIS HYBDS.



← 2' overhang
PARKING — 15 FEET LANDSCAPE EDGE — 8' PKWY. — STREET

TYPICAL INTERIOR STREET



FIGURE 17
CROSS SECTION C OF
INTERIOR STREET LANDSCAPING
CYPRESS VIEW LIMITED SPECIFIC PLAN

7.2.2 Project Edges

The edge buffer of the Cypress View Limited development shall consist of a dense, informal planting of trees in a minimum of five (5) foot landscape strip (see Figure 18). This consistently landscaped edge will identify the boundaries of the development and will provide buffer from the adjacent land use activities to the west and the south. Permanent groundcover will be established below trees. Recommended plant materials for typical edge buffers are as follows:

Trees: Cupressocyparis leylandii (Leyland cypress)
Shrubs: Xylosma congestum (Shiny xylosma)
Photinia Fraseri (Photinia)
Groundcover: Carissa grandiflora prostrata (Prostrate natal plum)

7.2.3 Project Entries

Entries to the Cypress Valley View Limited project site shall be special accent points which announce entry and set the theme of the project. Potential plant materials include the following:

Trees: Erythrina caffra (Coral tree)
Shrubs: Pittosporum tobira variegata (Tobira)
Raphiolepis indica 'Pink Lady' (India hawthorn)
Hemerocallis spp. (Daylily)
Agapanthus africanus (Lily of the Nile)
Xylosma congestum 'compacta' (Xylosma)

Accent Trees: Large scale canopy flowering trees may be utilized at the Cerritos Avenue and Valley View Street project entries to highlight and provide entry gateways to the project site. The Erythrina caffra (Coral tree), which is the unofficial theme tree for the Cypress Business Park, should be considered for this purpose.

Special Paving: Special paving, such as cobblestone, textured and colored concrete, and brick or masonry, may be utilized at the major project entries, but shall not be a part of the public right-of-way. The special paving would highlight the entry by providing a visual and textural contrast to the surrounding paving materials. Such paving would not be a part of the public right-of-way.

7.2.4 Landscape Materials

In addition to the tree selections already specified, the following shrubs, ground covers and lawn shall be incorporated into the site where appropriate. Alternative choices of plant materials to those presented in Sections 7.2.1 - 7.2.4 of the Specific Plan are subject to Site Plan approval. Additionally, developers shall have the option to incorporate species of existing trees located nearby, subject to the approval of the Design Review Committee.



CUPRESSOCYPARIS LEYLANDII

CARISSA G. PROSTRATA
XYLOSMA CONGESTUM
PHOTINIA FRASERI

RAILROAD R.O.W.

* 5 FEET *

PARKING OR BLDG.LINE

TYPICAL PROJECT BUFFER EDGE

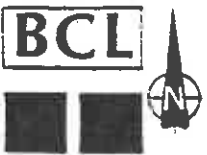


FIGURE 18
CROSS SECTION D OF
PROJECT EDGE LANDSCAPING
CYPRESS VIEW LIMITED SPECIFIC PLAN

a. Shrubs

Shrubs shall be used for screening of parking areas and for special effects at entries and around buildings. Shrubs of like species should be used in large masses to avoid a spotty, disconnected ground plane.

Acacia longifolia (Sydney golden wattle)
Carissa grandiflora (Natal plum)
Hemerocallis species (Day lily)
Ligustrum japonicum (Japanese privet)
Pittosporum tobira (Tobira)
Raphiolepis indica (India hawthorn)
Trachelospermum jasminoides (Star jasmine)
Xylosma congestum (Shiny xylosma)
Lonicera japonica 'halliana' (Japanese honeysuckle)
Photinia fraseri (Photinia)

b. Groundcovers

For use in planting beds, these groundcovers shall be easy to maintain and used to complement lawn areas.

Hedera Helix 'Hahn's' (Hahn's ivy)
Hypericum calycinum (Aarons beard)
Fragaria chiloensis (Ornamental strawberry)
Vinca minor (Dwarf periwinkle)

7.2.5 Hardscape Design Elements

Hardscape design elements, incorporated into the overall design theme for plaza/courtyard or transitional spaces within the Cypress Valley View Limited project site shall include, but not be limited to: light fixtures, bollards, benches, trash receptacles and planters. Hardscape elements will be selected to allow a coordinated and consistent visual and physical connection between buildings and landscape materials within the project area.

Potential building materials to be used as key hardscape elements are listed below. All materials utilized for walls, fences, paving, lighting and street furniture shall be coordinated with and complementary to architectural design details and materials.

Walls and Fences:

- Concrete masonry: integral color, 4" coursing maximum.
- Brick.
- Concrete: textured, bush hammered, rock salt, sandblasted, integral color in earth tones.
- Wrought iron (as accents).
- Stucco: integral or painted color (same as building stucco color).

Paving:

- Concrete, integrally colored, rock salt, exposed aggregate finish with brick or wood edges, or stamped concrete.
- Paving brick.
- Paving brick tile.
- Textured concrete.
- Precast rough-textured pavers, integrally colored.
- Quarry tile in earth tones.
- Rough textured granite.
- Rough textured marble.
- River washed stones/cobblestones.

Lighting:

- Exterior building lighting (spot or flood lights concealed in landscaping).
- On-site roads/parking light standards.
- Pedestrian pathways (bollard lights).
- Pedestrian plaza/courtyards (bollard lights).
- Landscape lighting (spot or flood lights concealed in landscaping).
- Signage lighting (self-contained or concealed in landscaping).

7.2.6 Signage

The intent of this subsection is to provide the guidelines and regulations necessary to achieve a visually coordinated, balanced and appealing signage system throughout the Cypress Valley View Limited project site, particularly one that promotes compatibility with the architectural controls and landscape concepts outlined within this Specific Plan.

a. General Principles for Review by Design Review Committee

- 1) Signage shall be compatible with the visual image and architectural design within the Specific Plan site and shall identify with substantial authority the following elements:
 - Entry signs.
 - Vehicular and pedestrian directional signage.
 - The individual buildings by number and name.
- 2) "Human scale" shall be maintained.
- 3) Signage for individual buildings shall not be allowed to conflict or interfere visually with other signage.
- 4) Signage shall contain only that information necessary to identify the primary elements on the lot on which the signs are located.

b. General Provisions

- 1) No sign shall be installed or constructed until it has been approved by the Design Review committee in accordance with the provisions of this Specific Plan.

- 2) A sign includes all parts, materials, frames and backgrounds.
- 3) Logos or identification symbols shall be considered signs. Sign information will be limited to tenant's tradename, logo and/or logo type. The use of advertising or brand names will not be allowed unless specifically approved by the Design Review committee.
- 4) All signs and their supporting structures shall be enclosed, structurally safe, and maintained in good condition.
- 5) All freestanding permanent signage structures shall be cast in concrete with the design approach being one of monolithic permanence. Lighting for these signs can utilize flood lights located at their base to provide a wash of light over the structure. Signage lettering and numbering may be cast letter (cast into the structure or raised-case letters fixed to the face of the structure), self-lit type, sandblasted into wall surface or onto wood. Alternative materials, consistent with architectural plans may be used, but are subject to Site Plan Review. Wall signs shall be composed of wood, metal, plastic (plexiglass or fiberglass), paint or comparable weather-resistant material subject to review and approval of the Design Review committee. All cabinets, conductors, transformers or other equipment must be concealed from public view.
- 6) All signs and their supporting structures shall comply with all local building and electrical codes.
- 7) The following limitations on temporary signs shall apply:
 - On-site unlighted subdivision signs shall be allowed for a non-renewable period of one (1) year, provided that one sign is allowed per project, the sign area per face does not exceed 100 square feet, it is erected only for the purpose of announcing the subdivision and sale or rental of the property where located, and that it is approved by the Administrative Committee.
 - Unlighted political signs shall be allowed for a period of up to sixty (60) days prior to an election and up to five (5) days after the same election provided that no sign is located on any public right-of-way or property.
 - Banners, flags, aerial signs, and other non-exempted temporary signs shall be allowed for a non-renewable period of thirty (30) days, subject to approval of a temporary sign permit from the Design Review committee if the committee finds that the sign and/or banner complies with the general standards for review above. No more than two (2) temporary sign permits may be issued per business per year. Temporary sign permits should only be issued for grand openings, open houses, or special events, as approved by the Design Review committee.

- 8) One (1) unlighted real estate sign per frontage, not exceeding 20 square feet in size, pertaining only to the sale, lease, or rental of the particular commercial or office building or property.
- 9) One (1) unlighted construction sign per job site, not exceeding 32 square feet containing the name of the project, and the names and addresses of the contractors, architects, engineers, landscape architect, project or leasing agent, financing company, or developer.
- 10) Sign area shall be measured by circumscribing a rectangle around the main body of the sign.

c. Project Entry Specifications

- 1) Number, location and area: Subject to design review, the proposed project entries may be permitted to install a project entry monument sign (one sign per entry), as per Figure 6, Land use and Circulation Plan, off of Valley View Street and Cerritos Avenue. Entry signs shall not exceed four (4) feet in height and 40 square feet in size per face on each sign.

d. Vehicular and Pedestrian Directional Signage

- 1) Number, location and area: Vehicular and pedestrian directional freestanding signs shall be permitted, wherever necessary and subject to approval of the total number of such signs by the Design Review committee. Vehicular directional signs shall not exceed three feet in height and 15 square feet in size per face on each sign. Pedestrian signs shall not exceed five feet in height and 15 square feet in size per face on each sign. Locations are subject to Design Review committee review and approval.

e. Building Signage

1) Wall Signs:

- a) No wall sign will exceed an area equal to one and one-half (1-1/2) square feet of sign for each one foot (1') of lineal frontage of the building or store, fronting on a street or parking lot. However, there shall be no more than two such signs per use. No sign shall exceed 150 square feet of area nor comprise more than 10 percent (10%) of the area of the elevation upon which the sign is located.
- b) In multi-tenant industrial buildings, each individual industry may have a wall sign over the entrance to identify the tenant. Said signs will be oriented toward the street, parking or pedestrian area for that building and shall not exceed one (1) square foot of sign area for each lineal foot of building frontage up to a maximum of twenty (20) square feet.
- c) Restaurants may have one wall sign for each building face, subject to design review.

- 2) Ground Signs: Ground signs shall not exceed four feet (4') above grade in height nor more than one and one-half (1-1/2) square feet in area for each one foot (1") of lineal footage of the building or store. However, no sign shall exceed 150 square feet in area. No sign may block the view of vehicles turning, etc.
- 3) Freestanding Signs: For commercial uses, in lieu of a ground sign, one (1) freestanding identification sign not exceeding one (1) square foot in area for each lineal foot of property frontage. However, no such sign shall exceed twenty-five feet (25') in overall height or 150 square feet in area.

7.3 Architectural Concept

Architectural guidelines are established to create an overall theme for the physical design of the Cypress View Limited project. It is intended that architectural and landscape consistency be maintained throughout the Specific Plan Area.

7.3.1 Building Form

- Building facades abutting streets shall not have the appearance of excessive massing or shading.
- Buildings clustered around a pedestrian area, such as a courtyard/plaza shall be designed to minimize excessive shading and maximize light exposure. Facades which are in excess of two stories and oriented onto courtyards/plazas should be stepped back to minimize the appearance of excessive massing.
- The juxtaposition and configuration of building forms shall be given careful attention so as not to create a venturi or wind tunnel effect.
- Orientation, configuration and location of building masses shall emphasize visual corridors.
- Special consideration shall be given to emphasize pedestrian areas architecturally such as entryways, walkways, and courtyards/plazas (e.g., concrete trellis, low parapet walls, extended roof or patio overhangs).
- Long, uninterrupted exterior walls shall be avoided on all structures, if possible. Walls shall incorporate relief features to create an interesting blend with the landscaping, other buildings and the casting of shadows.
- Architectural design shall take full advantage of energy-efficient concepts, such as natural heating and/or cooling, sun and wind exposure, and solar energy opportunities.
- Solar collectors, if used, shall be oriented away from public view or made as an integral part of the roof structure.
- Particular consideration as to color and material shall be given to the design and treatment of roof because of their potential visual impact.

- Roof flashing, rain gutters and downspouts, vents and other roof protrusions shall be screened from view or finished to match adjacent materials and/or colors.
- The utilization of glass areas shall be encouraged in order to extend interior space to the outside, and to create a visual link with the exterior setting of court or plaza areas.
- Walls and/or fences shall be used to screen utility and maintenance structures/facilities, storage, parking, etc. These surfaces shall match the exterior finish of any structure with which they are in contact.
- Colors, materials, textures and finishes for exterior building walls shall be chosen to achieve maximum quality.

7.3.2 Exterior Building Materials

The following materials are encouraged to be used as the predominate exterior wall materials throughout the Cypress View Limited project site.

- a. Concrete, concrete masonry, block and brick: in a manner which will express the natural color and characteristics printed or an integral color ranging from whites through earth tones.
- b. Stucco: smooth finish in natural gray or a color ranging from whites through earth tones.

The following materials are all encouraged, subject to special design review and approval by the Administrative Committee.

- Metal siding or cladding
- Glass or mirrored glass cladding; and
- Wood in wall forms as an accent material.

The use of other consistent materials is also encouraged, provided that there is consistency in the use and expression of materials. If alternative exterior materials are used they will be subject to special design review and approval by the Design Review Committee.

8.0 SPECIFIC PLAN IMPLEMENTATION

8.1 Site Plan Review Procedures

The purpose of the Site Plan review process is to provide for the public sector review of detailed final plans for all development within the Cypress View Limited project site. This process assures that projects will be planned, established and maintained in a manner that will be compatible with surrounding uses. It is further intended to assure compliance with all provisions of this Specific Plan.

No development or construction, other than minor repairs which do not alter the physical or architectural characteristics of a structure shall be undertaken unless a site plan and related documents have been submitted to and approved by the Design Review committee, in accordance with the applicable sections of the Municipal Zoning Code and the provisions of this Specific Plan.

8.1.1 Submittal Procedures

The following project data shall be submitted in conjunction with a Site Plan application:

- a. A legal description of the building site proposed for development, including a statement of present and proposed ownership.
- b. Project statistics including, but not limited to: buildings, square footage, parking spaces, coverage, parcel size, and other information as specified by the Planning Director.
- c. Site plan(s) and supporting displays drawn to scale, fully dimensioned, easily readable, and containing the following data:
 1. Title block (applicant's name and data drawn).
 2. Scale and north arrow.
 3. Property lines or building sites, dimensioned.
 4. Existing use of property and site conditions.
 5. Location, acreage and proposed type of use for each building site.
 6. The location and floor area size of all existing and proposed buildings, structures and improvements within the building site.
 7. Enough information on land areas adjacent to the site to indicate the relationships between the proposed development and existing and proposed adjacent areas.

- 3) The existing and proposed circulation system including existing and proposed improvements to adjacent reservoir off-street parking areas, service areas, loading areas, major points of access to public rights-of-way (including major points of ingress and egress to the development) and location and treatment of any bus stops. Notations of proposed ownership, public or private, should be included where appropriate. Additionally, traffic studies for all new major developments within the project area may be required, and shall be determined by the Public Works Director and Traffic Engineer.
 - 9) The existing and proposed pedestrian circulation system, including its interrelationships with the vehicular circulation system indicating proposed treatments or points of conflicts.
 - 10) Location and size of all areas to be conveyed, dedicated or reserved for public or semi-public use.
 - 11) The location, height and materials of all fencing and walls.
 - 12) Landscaping and screening areas.
 - 13) Any additional background and supporting information as the Director of Planning deems necessary.
- d. Preliminary landscaping plans, drawn to scale and including the following information:
- 1) Treatment of all yard and open space areas and the special elements of the site per design guidelines and regulations of this Specific Plan.
 - 2) Location and list of plant materials, by common and botanical names.
 - 3) Sizes of major elements, where applicable.
- e. Architectural elevations of all structures (including walls and signs), including but not limited to the following:
- 1) All exterior materials;
 - 2) All exterior colors; and
 - 3) Building height and mass.
- f. A preliminary grading plan prepared by a civil engineer.
- g. Any additional information as required by the Director of Planning or the Design Review Committee, and necessary to evaluate the character and impact of the proposed development.

- h. When a project requiring approval of a Site Plan is to be developed in phases, a conceptual Site Plan addressing items a through g, above may be submitted and processed in accordance with the procedures contained in this Section. A conceptual Site Plan may contain both specific and general data for the project. Building and grading permits, however, shall only be cleared for issuance by the Design Review Committee on those uses within the conceptual Site Plan which have complied with all the requirements of this section.

8.1.2 Site Plan Review Procedures

The Site Plan Review process involves two steps: the pre-application conference, and Site Plan submission for staff review. These are described further below.

a. Preapplication Conference

This is intended to provide the Planning Department with knowledge about the developer's intent and to provide the developer an understanding of what is required to develop under the Cypress View Limited Specific Plan.

There are no particular requirements for submission of materials and plans by a developer at a preapplication conference. However, the more information (e.g., sketch plans, land uses, site information, adjacent land uses, proposed density) the developer has, the more response he may get from the conference. Staff shall explain all relevant ordinance provisions and Specific Plan regulations and inform the developer of all the necessary requirements he must meet; he should be given forms and application materials, guidelines, checklists, and copies of relevant ordinances and Specific Plan regulations pertaining to his particular proposal.

The Planning Director may choose to form a preapplication conference team which routinely conducts this function. This team may include several members of the planning staff, especially those with site design expertise, and others from related departments such as engineering, public works, traffic, and police and fire.

b. Site Plan Submission for Staff Review

All Site Plan and Design Review requirements contained in Section 18 of the Zoning Code shall apply, except to the extent superseded by specific requirements of this Specific Plan.

8.1.3 Limitations and Revisions

Site Plan approval shall be valid for a period of one (1) year. If a building permit for construction of a project does not commence within that period and proceed with due diligence thereafter, the approval of the Site Plan shall terminate, and an additional review and approval will be required.

Revisions that are minor in nature or reasonable extensions other than those applied as a condition of approval by the Design Review committee, shall be reviewed and approved administratively by the Planning Director.

8.2 Subdivision Process

The City of Cypress Subdivision Ordinance shall regulate and control all divisions of land within the Cypress Valley View Limited project.

8.3 Non-Conforming Uses, Buildings and Structures

Non-conforming uses, buildings and structures shall be provided for, as specified in Section 16 of the Zoning Code.

8.4 Minor Development Standards, Adjustments and Specific Plan Amendments

8.4.1 Minor Development Standards Adjustments

- a. The purpose of a Minor Specific Plan Development Standard Adjustment procedure is to provide a simplified means of considering minor deviations from certain development standards set forth in the Specific Plan which are not detrimental to the public health, safety or welfare. Any person, firm, corporation or other entity may apply in writing to the Design Review committee for a minor development standard determination in the provisions contained in this Specific Plan. Applications for minor adjustments shall be limited to any of the following:
 - 1) A reduction in lot, yard or building area requirements by not more than ten percent (10%) of that otherwise specified in this Specific Plan.
 - 2) Increase the total building floor area maximum within the Specific Plan area by more than ten percent (10%).
 - 3) A reduction in parking requirements by not more than ten percent (10%).
 - 4) A minor modification to Architectural or Landscape Architectural Guidelines contained in Section 7.0.
- b. The decision of the Design Review Committee may be appealed to the City Council in accordance with Section 18.5 of the Municipal Code.

8.4.2 Amendment Procedures

The procedures outlined in California Government Code Section 65500, are required to be followed when adoption of an amendment to a Specific Plan is desired.

8.5 Enforcement

Enforcement of these provisions shall be as stated below:

1. The Planning Director shall have the duty to enforce the provisions of this Specific Plan.
2. Any use of a building or structure hereafter erected, built, maintained or used contrary to provisions of the Specific Plan, shall constitute a public nuisance.
3. Any person violating any provisions of this Specific Plan is guilty of a misdemeanor.
4. The Planning Director shall have the duty to interpret the provisions of this Specific Plan. All such interpretations shall be reduced to written form and be permanently maintained. Any person aggrieved by such an interpretation may request that such interpretation be reviewed by the City Council.
5. Unless otherwise specified, all development within the Cypress Valley View Limited project shall comply with the City of Cypress Municipal Code. Terms used herein shall have the same meaning as defined in the City of Cypress Municipal Code unless otherwise defined herein.

8.6 Relationship to the General Plan

The Cypress View Limited Specific Plan implements each of the elements of the City of Cypress General Plan. As such, the Specific Plan is supportive of and consistent with the existing goals and policies of the General Plan. The following presents a discussion of the relationship of this Specific Plan to each of the General Plan Elements.

8.6.1 Land Use Element

The Land Use Element (LUE) has established major land use policies for the purpose of guiding the land uses within the City of Cypress. These policies include orderly growth and development, sufficient area for each land use, development of open space areas, encouragement of diversified industries and the provision of adequate transportation facilities.

The Specific Plan project is consistent with the Land Use Element. The LUE designates the site for Planned Industrial development. This will broaden the City's economic base through increased revenues, retail sales and personal income.

8.6.2 Circulation Element

The major goals set forth in the Circulation and Scenic Highways Elements of the General Plan specify that transportation within the City must be provided in a safe, efficient manner. Specifically, a reasonable level of service for streets and adequate public transportation facilities are required.

The Specific Plan project is consistent with the Circulation Element and through roadway improvements it provides for the safe and efficient movement of traffic (e.g., merging lanes, turning pockets, sufficient truck turning radii). Additionally, aesthetic improvements will be made to the streets adjacent to and within the project area including landscaped setbacks with a bikeway along Valley View Street.

8.6.3 Housing Element

Housing Element goals and policies have not specifically been addressed since the Cypress View Limited project does not propose any housing on-site. By implementing the Specific Plan, however, additional jobs can be realized within the City; thereby contributing to the ultimate balance between dwelling units and employment opportunities, as planned in the Land Use Element. The Land Use Element designates the project site for Planned Industrial Use. The Land Use Element encourages new, diversified industries to locate in appropriately planned areas of the City, and encourages the enhancement of these areas through the provision of open space, tree plantings and landscaping. The landscaped setbacks and building setbacks specified for Cerritos Avenue are intended to provide an adequate buffer between the subject Specific Plan area and the residential land uses across Cerritos Avenue.

8.6.4 Open Space, Conservation, Scenic Highways Element

The goals of the Open Space and Conservation Element (OSCE) recognize the need for urban dwellers and employees to have adequate open space and recreational areas within the community. It also recognizes that agricultural uses in the City are not permanent due to the present property tax structure and value of the land. The Cypress View Limited Specific Plan implements these goals through open space provisions consisting of four forms: landscaped setbacks, bikeways, pedestrian walkways, and flood control easements. The Specific Plan also provides for control of environmental pollution as recommended in the OSCE.

The Scenic Highways Element provides guidelines for the beautification of City streets. The Specific Plan areas will comply by providing landscaped setbacks with tree plantings, building setbacks, screening of trash areas and mechanical equipment, undergrounding of utility line extensions, regulation of signs and regulation of building materials.

8.6.5 Noise Element

The major goals of the Cypress Noise Element include the development of strategies for the abatement of excessive noise exposure through regulatory mechanisms, the protection of existing regions in the City from excessive noise exposure, and the reduction of noise impacts from all sources.

The Cypress View Limited Specific Plan as proposed is not considered a "noise sensitive" land use. Major sources of noise impacts to the project include traffic on surrounding roadways, the Pacific Electric Railroad, and aircraft overflights from the Los Alamitos Armed Forces Reserve Center. According to the Noise Element, about one-third of the project is located within the 60 CNEL contour and a very small portion of the site is within the 65 CNEL contour. Acoustical design features which satisfy the interior noise standards of the City will be incorporated into the final building plans for the project.

8.6.6 Seismic Safety Element

Public safety policies established in the Seismic Safety Element of the General Plan address relevant safety measures with regard to potential earthquake hazards, geologic hazard/slope stability, and emergency preparedness.

The Specific Plan incorporates measures necessary for conformance with the Seismic Safety Element. Future buildings will incorporate design and construction measures required by the City to minimize potential seismic hazards. The potential for other geologic and/or slope stability hazards is considered remote, however, full geotechnical investigations will be conducted prior to issuance of any building permits.

8.6.7 Safety Element

The primary objective of the Safety Element is to require that hazard issues, such as geologic hazards, flood hazards, fire, crime and hazardous and toxic materials be accounted for in City planning programs.

Adequate police, fire and flood control protection will be provided to the Cypress Valley View Limited project. The Specific Plan provides for Site Plan review by the City Police, Fire and Engineering Departments and provides basic limits for the handling and disposal of toxic and hazardous substances.

8.7 Relationship to the Airport Environs Land Use Plan

The Cypress View Limited property is located approximately 3,000 feet north of the aircraft runway for the Armed Forces Reserve Center (AFRC) in Los Alamitos. It is within the ARFC planning area established by the Airport Land Use Commission for Orange County. The Airport Environs Land Use Plan (AELUP) establishes guidelines for the development of airport environs in Orange County to promote the compatibility of such developments with the airport planning area.

8.7.1 Aircraft Noise

Figure 14 shows the project boundaries on the Community Noise Equivalent Level (CNEL) contour map from the Airport Environs Land Use Plan. As shown, the southeast half of the project site is between the 60 and 65 CNEL contours. The northwest half of the site is subject to noise levels of less than 60 CNEL. These noise levels are in the "clearly acceptable" category established by the Federal Department of Housing and Urban Development for office, industrial and retail uses.

The AELUP identifies the area between the 60 and 65 CNEL contours as Noise Impact Zone "2". Section 3.2.2 of the AELUP recommends that residential development be avoided in this area unless sufficiently sound attenuated. This Specific Plan involves only industrial, office and commercial development; no residential development is proposed. No restrictions on office, industrial or retail development are recommended. The following noise criteria, listed in the AELUP, are applicable:

<u>Typical Use</u>	<u>Level L(eq)*12**</u>
General office, reception, clerical, etc.	50
Bank lobby, retail store, restaurant, typing pool, etc.	55
Manufacturing, kitchen, warehousing, etc.	65

* L(eq) is the equivalent sound level for a specified time period in dB(A).
** Measured from 7:00 a.m. to 7:00 p.m. or other appropriate, approved period.

Conclusions

With respect to airport noise, the AELUP noise criteria can be met via typical building design and construction. Traffic noise will be a separate consideration which is not relevant to the AELUP.

8.7.2 Accident Potential

The AELUP makes the following statement with respect to accident potential zones at the Armed Forces Reserve Center in Los Alamitos:

An analysis of the ten-year accident history and the operational characteristics of AFRC, Los Alamitos, was conducted in accordance with the adopted AICUZ methodology. The analysis revealed that only Accident Potential Zone "A" was justified. However, the limits of this zone barely extended beyond the boundaries of the air station. Consequently, the Commission decided not to designate accident potential zones around AFRC, Los Alamitos, and none appear on the map.

Conclusions

The proposed project is not in an accident potential and is compatible with the AFRC from an accident potential standpoint.

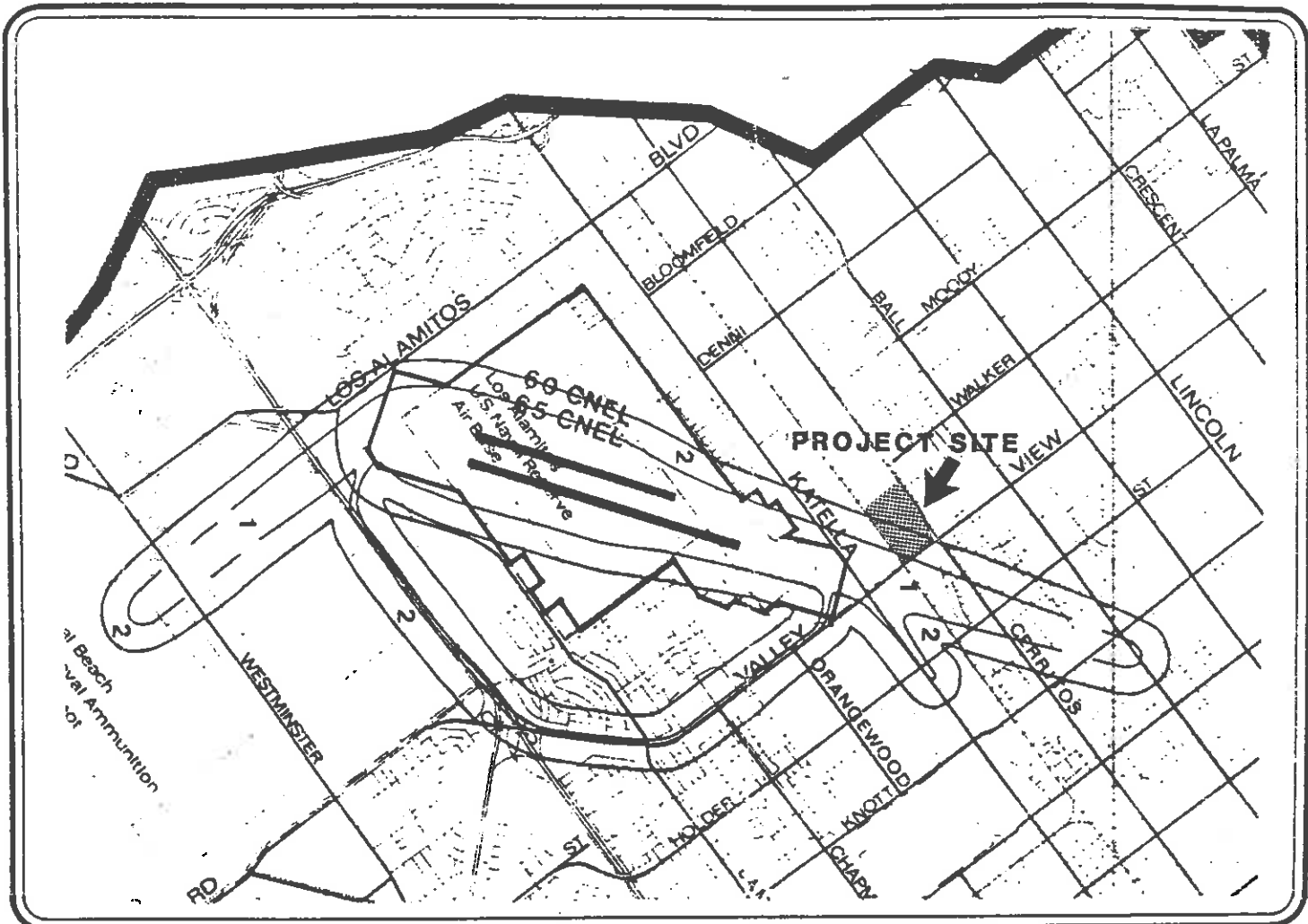
8.7.3 Building Heights

The AELUC has adopted Part 77, "Objects Affecting Navigable Airspace", of the Federal Aviation Regulations (FAR) to describe the ultimate height of structures under the imaginary surfaces" as defined in FAR Part 77. Based on a preliminary interpretation of FAR Part 77 restrictions, it appears that building heights may not be a major concern with respect to this Specific Plan, since only 300 feet of the southeast corner of the site is within the approach clearance zone for the AFRC. There are presently no plans for buildings to exceed three or four stories in height.

Although no specific building location or design information has been developed at this stage of the planning process, all future development will comply with the restrictions of FAR Part 77. No buildings will be allowed which penetrate the imaginary surfaces pertaining to hazards or obstructions, per FAR Part 77.

Conclusions

Since the AELUP adopts the FAR Part 77 imaginary surfaces and the Specific Plan will comply with FAR Part 77, the Specific Plan and all future specific development proposals will be consistent with the AELUP, with respect to building heights.



IMPACT ZONES

- 1-HIGH NOISE IMPACT
- 2-MODERATE NOISE IMPACT

BCL



FIGURE 19
 NOISE CONTOURS (AFRC LOS ALAMITOS)
 CYPRESS VIEW LIMITED SPECIFIC PLAN

9.0 LEGAL DESCRIPTIONS

THAT PORTION OF THE NORTH HALF OF THE SOUTHEAST QUARTER OF SECTION 21, TOWNSHIP 4 SOUTH, RANGE 11 WEST IN THE RANCHO LOS ALAMITOS, IN THE CITY OF CYPRESS, COUNTY OF ORANGE, STATE OF CALIFORNIA, AS SAID SECTION IS SHOWN ON MAP NO. 2 ATTACHED TO THE FINAL DECREE OF PARTITION ENTERED IN THE SUPERIOR COURT OF LOS ANGELES COUNTY, CASE NO. 13527, A CERTIFIED COPY OF SAID FINAL DECREE HAVING BEEN RECORDED FEBRUARY 2, 1891 IN BOOK 14 PAGE 31 OF DEEDS OF SAID ORANGE COUNTY DESCRIBED AS FOLLOWS:

BEGINNING AT THE INTERSECTION OF THE EASTERLY LINE OF SAID SOUTHEAST QUARTER OF SECTION 21 WITH THE NORTHEASTERLY LINE OF SAID RANCHO LOS ALAMITOS AS SHOWN ON A MAP RECORDED IN BOOK 37 PAGE 17 OF RECORD OF SURVEYS, RECORDS OF SAID ORANGE COUNTY; THENCE ALONG SAID EASTERLY LINE SOUTH 00 DEGREES 00 MINUTES 14 SECONDS WEST 968.40 FEET TO A POINT IN THE NORTHERLY LINE OF THAT 60.00 FOOT STRIP OF LAND DESCRIBED IN THE DEED TO THE SOUTHERN PACIFIC RAILROAD COMPANY RECORDED JANUARY 13, 1897 IN BOOK 29 PAGE 328 OF DEEDS, RECORDS OF SAID ORANGE COUNTY; THENCE ALONG SAID NORTHERLY LINE NORTH 89 DEGREES 59 MINUTES 51 SECONDS WEST 1814.46 FEET TO THE EASTERLY LINE OF THE WESTERLY 25 ACRES OF THE EAST ONE-HALF OF THE NORTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SAID SECTION 21, THENCE NORTH 00 DEGREES 00 MINUTES 34 SECONDS WEST 1290.01 FEET ALONG SAID EASTERLY LINE TO THE NORTHERLY LINE OF THE SOUTHEAST QUARTER OF SAID SECTION 21, SAID LINE BEING THE CENTERLINE OF CERRITOS AVENUE AS SHOWN ON THE MAP OF TRACT NO. 5782 RECORDED IN BOOK 241 PAGES 1 AND 2 OF MISCELLANEOUS MAPS, RECORDS OF SAID ORANGE COUNTY; THENCE ALONG SAID NORTHERLY LINE SOUTH 89 DEGREES 58 MINUTES 54 SECONDS EAST 894.84 FEET TO SAID NORTHEASTERLY LINE OF THE RANCHO LOS ALAMITOS; THENCE ALONG SAID RANCHO LINE SOUTHEASTERLY 974.43 FEET TO THE POINT OF BEGINNING.

EXCEPT THEREFROM THAT PORTION OF SAID LAND INCLUDED WITHIN THE LINES OF THE LAND DESCRIBED IN THE DEED TO THE ORANGE COUNTY FLOOD CONTROL DISTRICT RECORDED DECEMBER 4, 1959 IN BOOK 4999 PAGE 460 OF OFFICIAL RECORDS, RECORDS OF SAID ORANGE COUNTY.

ALSO EXCEPT ALL COAL, CHEMICALS, PETROLEUM, OIL, GAS, ASPHALTUM AND OTHER HYDROCARBONS, AND ALL MINERALS, METALS AND MINERAL ORES, WHETHER SIMILAR TO THOSE HEREIN SPECIFIED OR NOT, OF EVERY KIND AND CHARACTER NOW KNOWN TO EXIST OR HEREAFTER DISCOVERED UPON, WITHIN OR UNDERLYING SAID LAND, TOGETHER WITH THE EXCLUSIVE AND PERPETUAL RIGHT OF THE GRANTEE, ITS SUCCESSORS AND ASSIGNS, OF INGRESS AND EGRESS BENEATH THE SURFACE OF SAID LAND TO EXPLORE FOR, EXTRACT, MINE AND REMOVE THE SAME AND TO MAKE SUCH USE OF SAID LAND BENEATH THE SURFACE AS IS NECESSARY OR USEFUL IN CONNECTION THEREWITH, WHICH USE MAY INCLUDE LATERAL OR SLANT DRILLING, DIGGING, BORING OR SINKING OF WELLS, SHAFTS, TUNNELS OR OTHER METHODS, TOGETHER WITH THE FURTHER EXCLUSIVE AND PERPETUAL RIGHT OF THE GRANTEE, ITS SUCCESSORS AND ASSIGNS, TO MAKE SUCH USE OF SAID LAND AS MAY BE NECESSARY TO STORE, KEEP, DEPOSIT AND/OR REMOVE ALL COAL, CHEMICALS, PETROLEUM, OIL, GAS, ASPHALTUM AND OTHER HYDROCARBONS AND ALL MINERALS, METALS AND MINERAL ORES, WHETHER SIMILAR TO THOSE HEREIN SPECIFIED OR NOT, OF EVERY KIND AND CHARACTER NOW KNOWN TO EXIST OR HEREAFTER DISCOVERED; PROVIDED, HOWEVER, THAT THE GRANTEE, ITS SUCCESSORS OR ASSIGNS, SHALL NOT USE THE SURFACE OF SAID LAND ABOVE A FIVE HUNDRED FOOT DEPTH IN THE EXERCISE OF ANY SAID RIGHTS AS GRANTED TO CONSOLIDATED PACIFIC INVESTMENT COMPANY, BY DEED RECORDED JANUARY 29, 1959 IN BOOK 4579 PAGE 496 OF OFFICIAL RECORDS.

SAID LAND IS INCLUDED WITHIN THE AREA SHOWN ON A MAP FILED IN BOOK 37 PAGE 17 OF RECORD OF SURVEYS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID ORANGE COUNTY.

